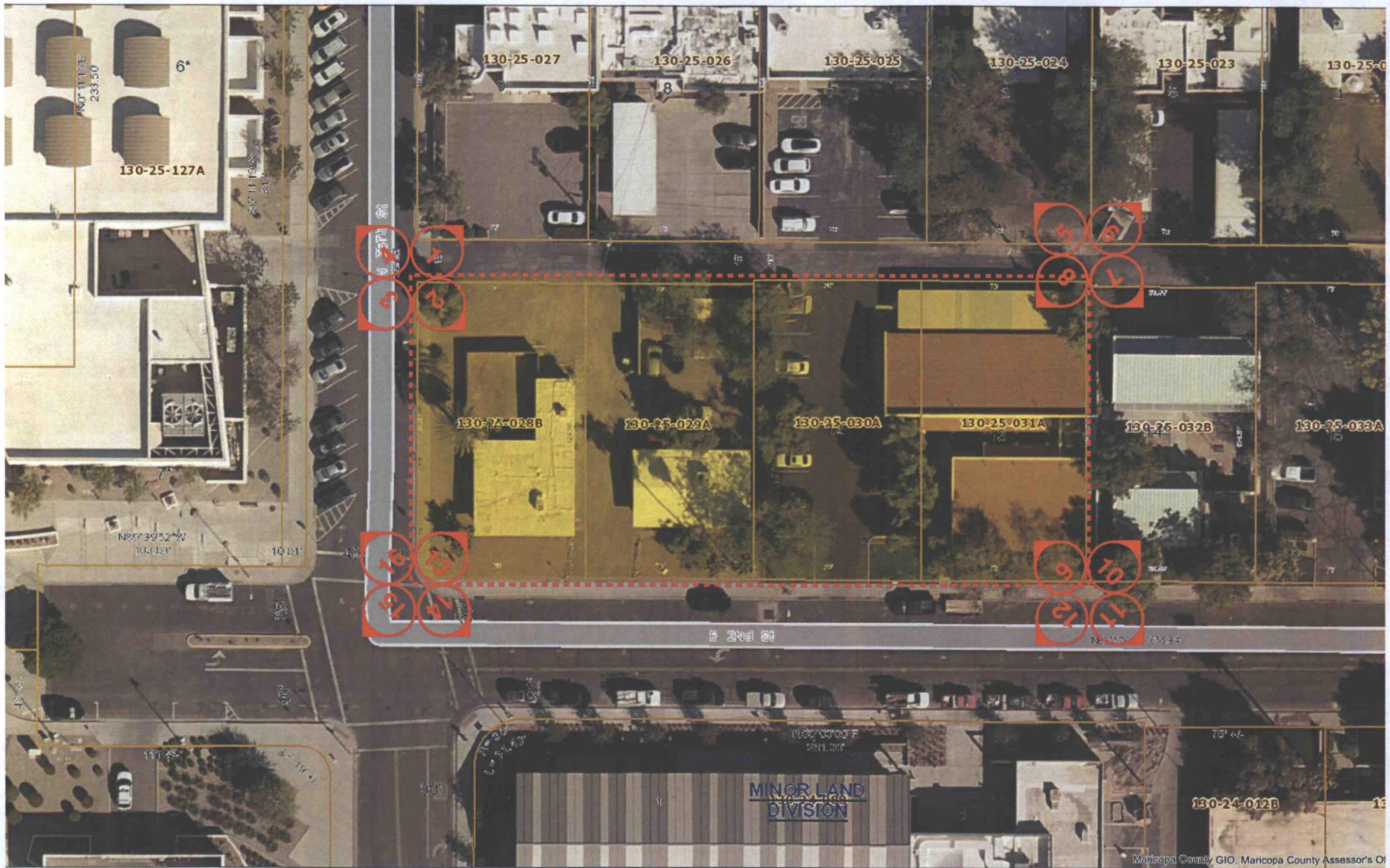


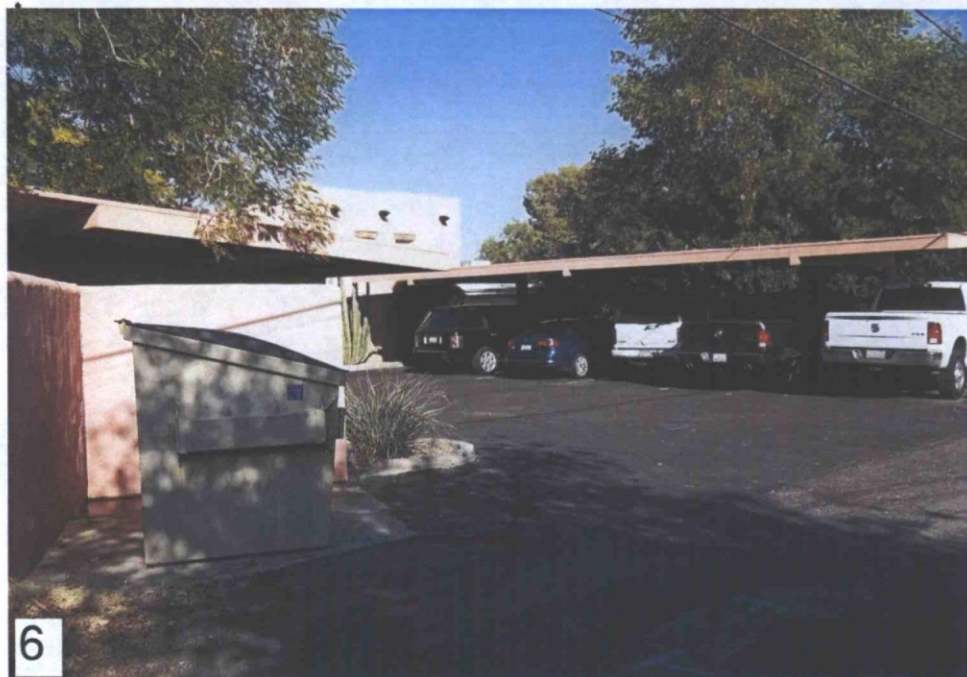
Simulations
Photos
All Graphics (no plans)



Photos of Existing Conditions

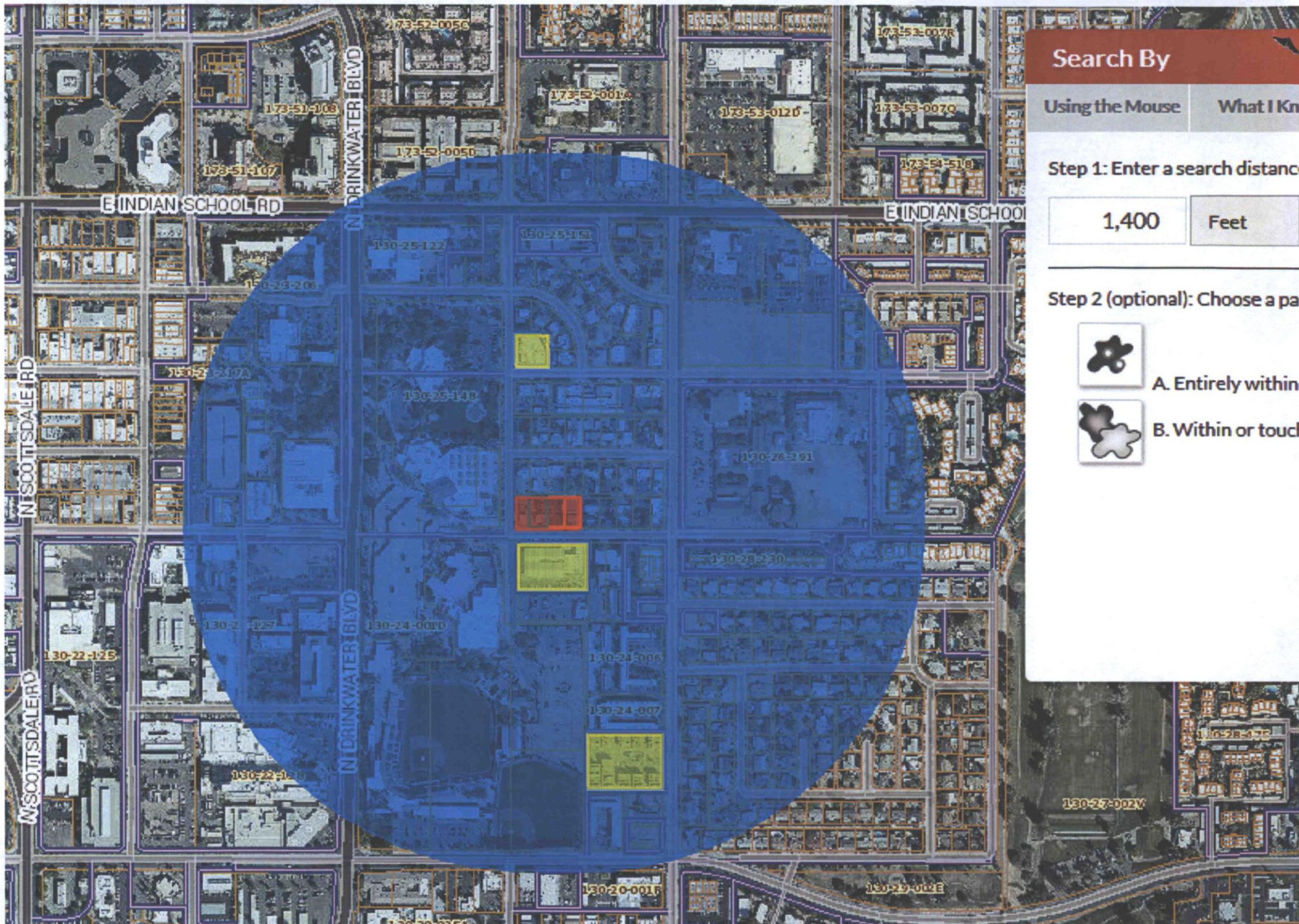
2-ZN-2019
2/14/19











Search By

Using the Mouse

What I Know

Step 1: Enter a search distance

1,400

Feet

Step 2 (optional): Choose a pair



A. Entirely within



B. Within or touch

 Newly Developed Properties within 1/4 mile

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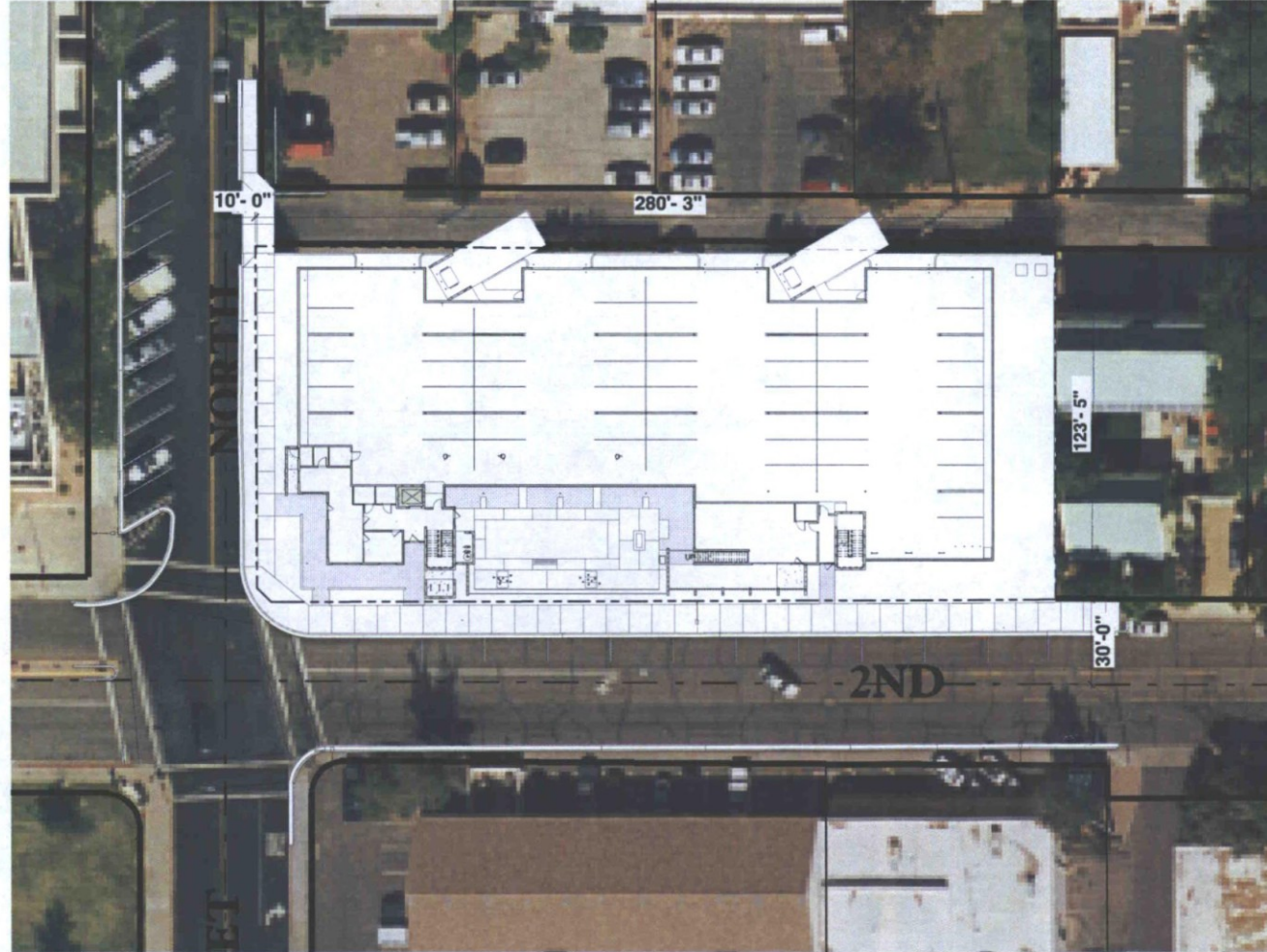
Main Street Plaza - 7502 E. Main St.



The CLAYTON House - 3719 N 75th St



Treo - 3510 N. Miller Rd.



1 Site Plan - Boundary
1" = 20'-0"

2-ZN-2019
2/14/19

K & I HOMES, LLC

6125 E INDIAN SCHOOL RD
SUITE 200
SCOTTSDALE, AZ 85261
PH: 480-509-3338



Clayton

75 on 2nd
7502 East 2nd Street
Scottsdale, AZ

Revisions

#	Description	Date
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JOB NUMBER: 1809
DRAWN BY: Author
CHECKED BY: Checker
ISSUE DATE: 01/21/2019

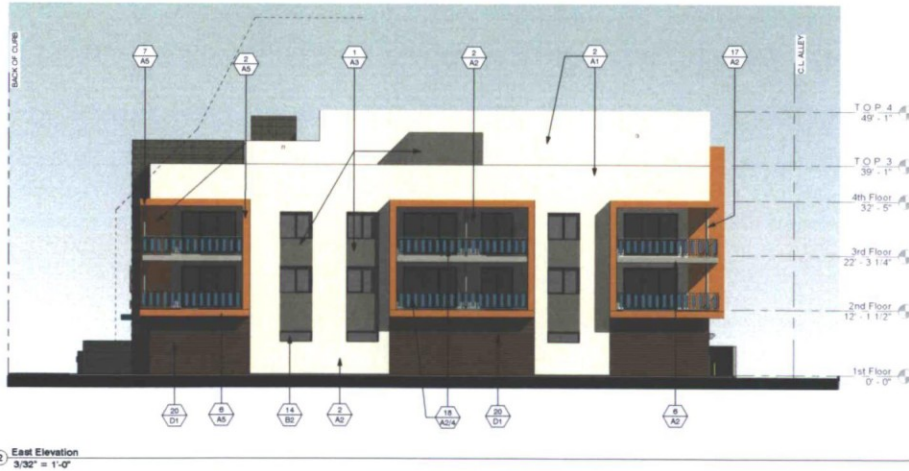
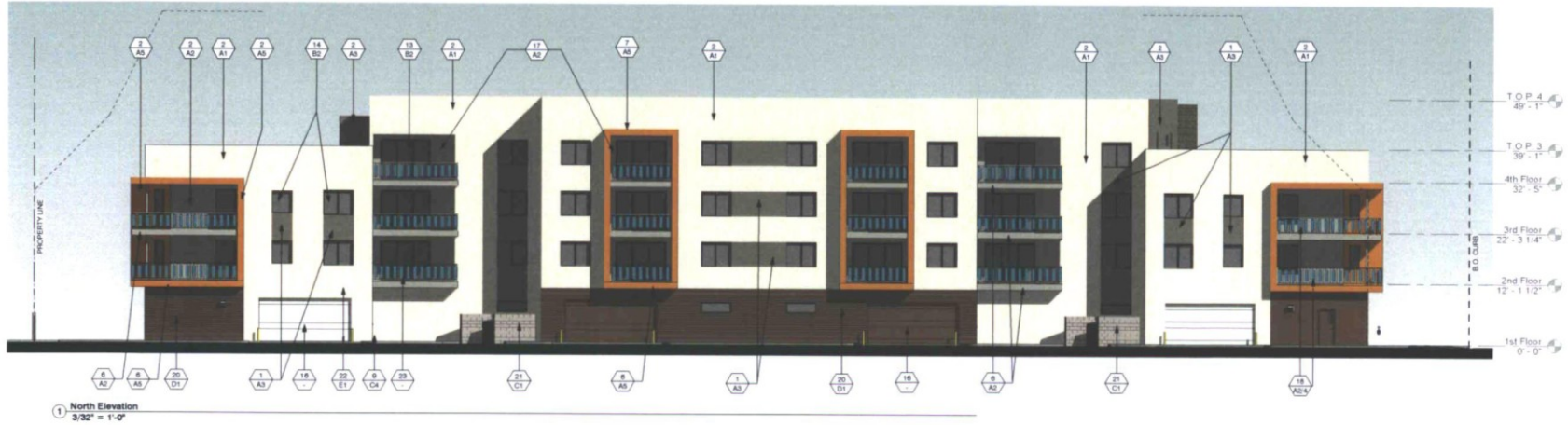


K. J. Anderson
SHEET TITLE:
Boundary Plan

SHEET NUMBER:

A0.3

ReZone - Design
Review



MATERIAL / COLOR SCHEDULE

MATERIAL	COLOR
MATERIALS / KEY NOTES	GENERAL NOTES
<ol style="list-style-type: none"> 1. STUCCO OVER PAPER BACKED METAL LATH ON EXT. GRADE PLYWOOD SHEATHING 2. STUCCO OVER METAL LATH AND 1" FOAM OVER CMU 3. STUCCO CONTROL JOINT 4. BALCONY FACIA WITH METAL T-BAR AND STUCCO FINISH 5. ROOF OVERHANGS - STUCCO FRONT FACIA AND UNDERSIDE 6. EXPOSED MASONRY - RUNNING BOND RAKED JOINTS 7. DECORATIVE FENCE BLOCK PANEL - STACED BOND RAKED JOINTS 8. ALUMINUM STOREFRONT - FACTORY FINISH 9. ALUMINUM STOREFRONT DOORS - SEE SCHEDULE 10. SLIDING ALUMINUM GLASS PATIO DOORS - FACTORY FINISH - SEE SCHEDULE 11. FRIED SINGLE SLIDING ALUMINUM WINDOW - FACTORY FINISH - SEE SCHEDULE 12. HOLLOW METAL DOOR AND FRAME - PAINTED - SEE SCHEDULE 13. SECTIONAL GARAGE DOOR - FACTORY FINISH 14. STEEL COLUMN - PAINTED 15. TUBE STEEL RAILING/GUARDRAIL - PAINTED 16. TUBE STEEL VIEW / POOL FENCE - PAINTED 17. HORIZONTAL METAL SIDING 18. CMU REFUSE ENCLOSURE 19. STANDING SEAM METAL ROOF 20. BUILDING SIGNAGE - UNDER SEPARATE PERMIT AND SUBMITTAL 	<ol style="list-style-type: none"> 1. STUCCO SYSTEM TO BE S10 POWERWALL OVER 1" INSULATION BOARD WITH 1/8" SIFNE INTEGRAL COLORED FINISH TO MATCH PAINT COLOR SPECIFIED. SYSTEM TO BE INSTALLED OVER S10 GUARD WITH GOLD COAT WATER RESISTIVE BARRIER, PER THE FOLLOWING EVALUATION REPORTS: ESR-2803 S10 POWERWALL STUCCO SYSTEM ESR-1208 S10 GUARD WITH GOLD COAT WATER RESISTIVE BARRIER 2. STUCCO CONTROL JOINTS SHOWN AT TYPICAL LOCATIONS ONLY. PROVIDE ADDITIONAL CONTROL JOINTS AS MAY BE REQUIRED AND RECOMMENDED BY STUCCO MANUFACTURER VERIFY LOCATION WITH ARCHITECT 3. STUCCO CONTROL JOINTS TO BE PROVIDED SO THAT MAX. STUCCO PANEL SIZE IS 144 SF WITH A WIDTH TO LENGTH RATIO OF 1:3:2. TYPICAL JOINT PLACEMENTS INCLUDE: - HORIZONTALLY AT EACH FLOOR LEVEL - VERTICALLY FROM CORNER OF SLIDING DOORS, WINDOWS AND BALCONIES 4. ALL CONTROL JOINTS & REVEALS TO TERMINATE ON INSIDE CORNERS ONLY 5. PROVIDE SEALANT AT ALL STUCCO PENETRATIONS 6. PAINT ALL EXTERIOR MOUNTED ELECTRICAL AND MECHANICAL PANELS/BOXES TO MATCH ADJACENT SURFACE OF THE BUILDING 7. PAINT ALL VENTS, FLASHINGS, WEG. MATERIALS TO MATCH ADJ. BLDG. COLOR (UNID.) 8. ALL PAINT COLOR CHANGES TO TERMINATE ON INSIDE CORNERS ONLY 9. PROVIDE 2" SOLID CMU CAPS AT ALL EXPOSED CMU BATE WALLS 10. ALL EXPOSED DRYER AND EXHAUST VENTS TO BE ALIGNED HORIZONTALLY (AT EACH FLOOR) AND VERTICALLY FROM FLOOR TO FLOOR AND PAINTED TO MATCH ADJACENT STUCCO COLOR 11. ALL EXPOSED CMU TO BE RUNNING BOND WITH RAKED JOINTS. UNID.
COLORS	
PANEL (DUNN EDWARDS DES) A1. MAIN FIELD (LIGHT GRAY) DERB72 - LACE VAIL - LUN 77 A2. 2ND FIELD (MEDIUM GRAY) DERB75 - CASTLE ROCK - LUN 43 A3. ACCENT (DARK GRAY) DERB77 - BOAT ANCHOR - LUN 14 A4. ACCENT (ITALY) DET148 - OASIS - LUN 24 A5. ACCENT (ORANGE) DET150 - CLAY TERRACE - LUN 28 ALUMINUM STOREFRONT (ARCADE) B1. AB-7 "STANDARD DARK BRONZE" ANODIZED SLIDING GLASS DOORS AND WINDOWS (MILGARD) B2. DARK BRONZE ANODIZED MASONRY (SUPERLITE BLOCK) C1. 8x16x16 INTEGRALLY COLORED SMOOTH FACE - MW GRAY C2. 8x16x16 INTEGRALLY COLORED SMOOTH FACE - BLACK C3. 4X12X12 ELBORADO (#7) - MW GRAY C4. 8X8X8 MEDIANSTONE, TEXTURED - RUTHERFORD WOOD GRAIN METAL SIDING (PMP ROLL-FAB) D1. ALUMBAROARD - HAZELNUT BROWN #V-GROOVE METAL ROOF PANELS (MORIN OR EG) E1. CUSTOM COLOR TO MATCH PAINT AS	

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CHECKED BY: KS

ISSUE DATE: 01/31/2019



SHEET TITLE

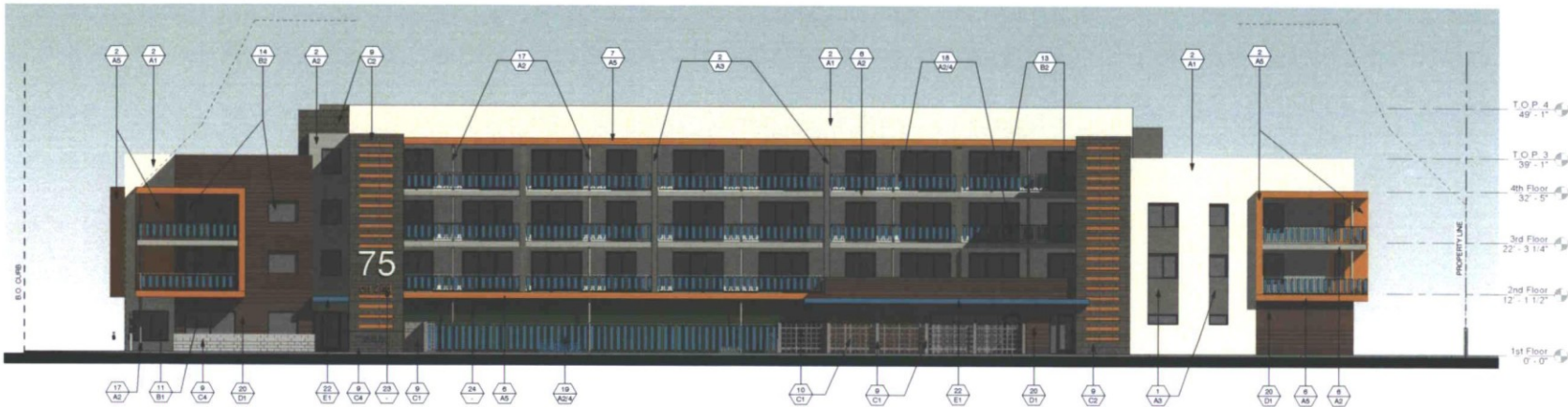
Exterior Elevations

SHEET NUMBER:

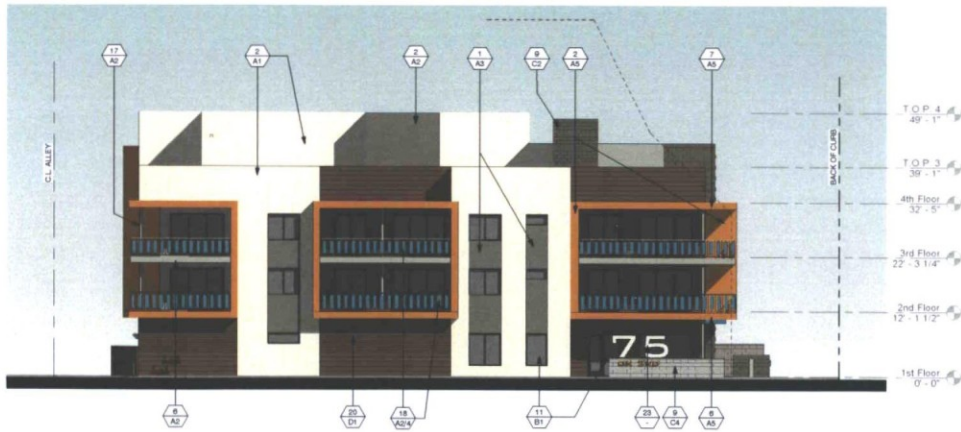
A3.2

ReZone - Design Review

2-ZN-2019
2/14/19



1 South Elevation
1/32" = 1'-0"



2 West Elevation
1/32" = 1'-0"

MATERIAL / COLOR SCHEDULE

MATERIAL
COLOR

MATERIALS / KEY NOTES

- STUCCO OVER PAPER-BACKED METAL LATH ON EXT. GRADE PLYWOOD SHEATHING
- STUCCO OVER METAL LATH AND 1" FOAM ON EXT. GRADE PLYWOOD SHEATHING
- STUCCO CONTROL JOINT
- BALCONY FACING WITH METAL T-BAR AND STUCCO FINISH
- ROOF OVERHANG: STUCCO FRONT FACE AND UNDERSIDE
- EXPOSED MASONRY - RUNNING BOND, RAKED JOINTS
- DECORATIVE FENCE BLOCK PANEL, STACKED BOND, RAKED JOINTS
- ALUMINUM STOREFRONT - FACTORY FINISH
- ALUMINUM STOREFRONT / DOOR - SEE SCHEDULE
- SLIDING ALUMINUM GLASS PATIO DOORS - FACTORY FINISH - SEE SCHEDULE
- FREE SINGLE SLIDING ALUMINUM WINDOW - FACTORY FINISH - SEE SCHEDULE
- SLIDING METAL DOOR AND FRAME - PAINTED - SEE SCHEDULE
- SECTIONAL GARAGE DOOR - FACTORY FINISH
- STEEL COLUMN - PAINTED
- TUBE STEEL RAILING/GUARDRAIL - PAINTED
- TUBE STEEL VIEW / POOL FENCE - PAINTED
- HORIZONTAL METAL SIDING
- CMU REFUSE ENCLOSURE
- STANDING SEAM METAL ROOF
- BUILDING SIGNAGE - UNDER SEPARATE PERMIT AND SUBMITTAL

GENERAL NOTES

- STUCCO SYSTEM TO BE STUCCO POWERWALL OVER 1" INSULATION BOARD WITH 1/2" SPINE INTEGRAL COLORED FINISH TO MATCH PAINT COLOR SPECIFIED. SYSTEM TO BE INSTALLED OVER STUCCO WITH GOLD COAT WATER RESISTIVE BARRIER, PER THE FOLLOWING EVALUATION REPORTS:
ESR-2823 STUCCO POWERWALL STUCCO SYSTEM
ESR-1238 STUCCO SYSTEM WITH GOLD COAT WATER RESISTIVE BARRIER
- STUCCO CONTROL JOINTS SHOWN AT TYPICAL LOCATIONS ONLY. PROVIDE ADDITIONAL CONTROL JOINTS AS MAY BE REQUIRED AND RECOMMENDED BY STUCCO MANUFACTURER VERIFY LOCATION WITH ARCHITECT
- STUCCO CONTROL JOINTS TO BE PROVIDED SO THAT MAX. STUCCO PANEL SIZE IS 144 SF WITH A WIDTH TO LENGTH RATIO OF 1:2. TYPICAL JOINT PLACEMENTS INCLUDE:
- HORIZONTALLY AT EACH FLOOR LEVEL
- VERTICALLY FROM CORNERS OF SLIDING DOORS, WINDOWS AND BALCONIES
- ALL CONTROL JOINTS TO TERMINATE ON INSIDE CORNERS ONLY
- PROVIDE SEALANT AT ALL STUCCO PENETRATIONS
- PAINT ALL EXTERIOR MOUNTED ELECTRICAL AND MECHANICAL PANELS/BOXES TO MATCH ADJACENT SURFACE OF THE BUILDING
- PAINT ALL VENTS FLASHING, MECH MATERIALS TO MATCH ADJ. BLDG. COLOR U.N.O.
- ALL PAINT COLOR CHANGES TO TERMINATE ON INSIDE CORNERS ONLY
- PROVIDE 2" SOLID CMU CAPS AT ALL EXPOSED CMU SITE WALLS
- ALL EXPOSED GUTTER AND DRAINAGE VENTS TO BE ALIGNED HORIZONTALLY (AT EACH FLOOR) AND VERTICALLY FROM FLOOR TO FLOOR AND PAINTED TO MATCH ADJACENT STUCCO COLOR
- ALL EXPOSED CMU TO BE RUNNING BOND, WITH RAKED JOINTS, U.N.O.

COLORS

- PANEL (DUNN EDWARDS DEC)
- | | | |
|----------------------------|-----------------------|----------|
| A1 MAIN FIELD (LIGHT GRAY) | DE6872 - LACE VAIL | - LIN 77 |
| A2 2ND FIELD (MEDIUM GRAY) | DE6875 - CASTLE ROCK | - LIN 43 |
| A3 ACCENT (DARK GRAY) | DE6877 - BOAT ANCHOR | - LIN 14 |
| A4 ACCENT (TAN) | DE1546 - OASIS | - LIN 24 |
| A5 ACCENT (CRANK) | DE5228 - CLAY TERRACE | - LIN 29 |
- ALUMINUM STOREFRONT - (ARCADIA)
- | | |
|--------------------------------|----------|
| B1 AB-7 "STANDARD DARK BRONZE" | ANODIZED |
|--------------------------------|----------|
- SLIDING GLASS DOORS AND WINDOWS - (JULGARD)
- | | |
|-------------------------|--|
| B2 DARK BRONZE ANODIZED | |
|-------------------------|--|
- MASONRY (SUPERLITE BLOCK)
- | | |
|------------|--|
| C1 8x16x16 | INTEGRALLY COLORED SMOOTH FACE - MW GRAY |
| C2 8x16x16 | INTEGRALLY COLORED SMOOTH FACE - BLACK |
| C3 4X12X12 | ELDORADO (#7) - MW GRAY |
| C4 888x18 | MEDIASTONE, TEXTURED - RUTHERFORD |
- WOOD GRAY METAL SIDING (PMP POLY FIB)
- | | | |
|-------------------|----------------|---------------|
| D1 ALUMINUM BOARD | HAZELNUT BROWN | 1/4" V-GROOVE |
|-------------------|----------------|---------------|
- METAL ROOF PANELS (MORN OR EG)
- | | |
|----|--------------------------------|
| E1 | CUSTOM COLOR TO MATCH PAINT AS |
|----|--------------------------------|

K & I HOMES, LLC

8125 E INDIAN SCHOOL RD
SCOTTSDALE, AZ 85251
PH: 602-456-3505

Clayton

75 on 2nd
7502 East 2nd Street
Scottsdale, AZ

Revisions

#	Description	Date

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CHECKED BY: Checker

ISSUE DATE: 01/31/2019



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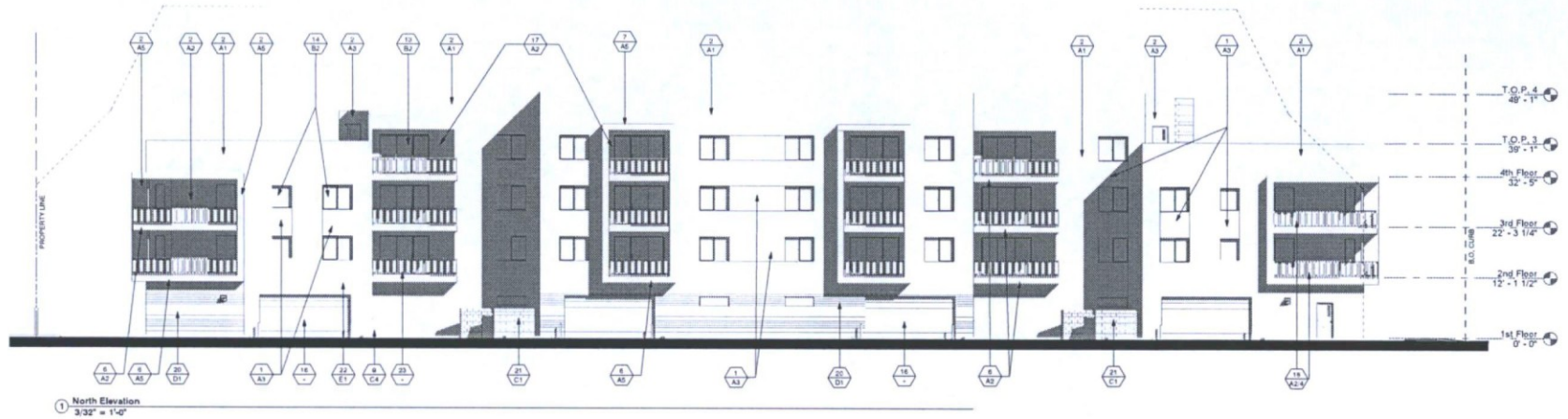
Exterior Elevations

SHEET NUMBER:

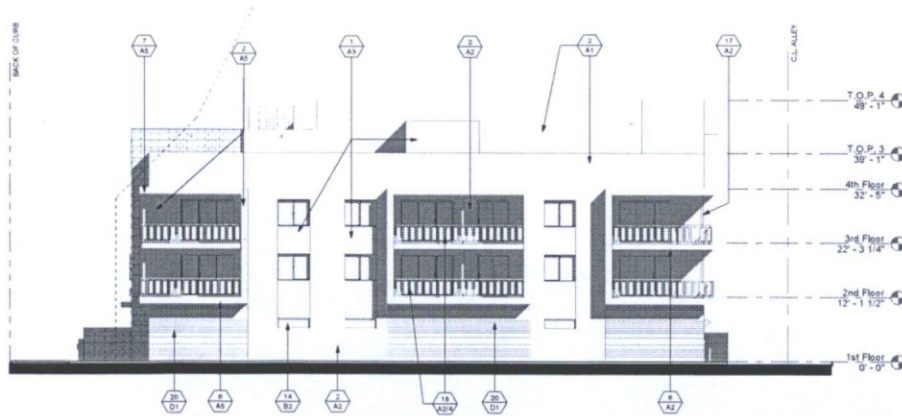
A3.1

ReZone - Design Review

2-ZN-2019
2/14/19



1 North Elevation
3/32" = 1'-0"



2 East Elevation
3/32" = 1'-0"

MATERIAL / COLOR SCHEDULE

MATERIAL
COLOR

MATERIALS / KEY NOTES

- STUCCO OVER PAPER BACKED METAL LATH ON EXT. GRADE PLYWOOD SHEATHING
- STUCCO OVER METAL LATH AND 1" FOAM ON EXT. GRADE PLYWOOD SHEATHING
- STUCCO OVER METAL LATH AND 1" FOAM OVER CMU
- STUCCO CONTROL JOINT
- BALCONY FACIA WITH METAL 1/8" AND STUCCO FINISH
- ROOF OVERHANG - STUCCO FRONT FACIA AND UNDERSIDE
- EXPOSED MASONRY - RUNNING BOND, RAKED JOINTS
- DECORATIVE FENCE BLOCK PANEL - 6 STACKED BOND, RAKED JOINTS
- ALUMINUM STOREFRONT - FACTORY FINISH
- SLIDING ALUMINUM GLASS PATIO DOORS - FACTORY FINISH - SEE SCHEDULE
- FRESH SINGLE SLIDING ALUMINUM WINDOW - FACTORY FINISH - SEE SCHEDULE
- HOLLOW METAL DOOR AND FRAME - PAINTED - SEE SCHEDULE
- SECTIONAL GARAGE DOOR - FACTORY FINISH
- STEEL COLUMN - PAINTED
- TUBE STEEL MAIN GUARDRAIL - PAINTED
- HORIZONTAL METAL SLIDING
- CMU REFUSE ENCLOSURE
- STANDING SEAM METAL ROOF
- BUILDING SIGNAGE - UNDER SEPARATE PERMIT AND SUBMITTAL

COLORS

DANL (JOHN EDWARDS) DE	DEK372 - LACE VAIL	- LRV 77
A1. MAIN FIELD (LIGHT GRAY)	DEK375 - CASTLE ROCK	- LRV 43
A2. 2ND FIELD (MEDIUM GRAY)	DEK377 - BAY ANCHOR	- LRV 14
A3. ACCENT (DARK GRAY)	DEK380 - CLAY TERRACE	- LRV 24
AA. ACCENT (TEAL)		- LRV 24
AB. ACCENT (ORANGE)		- LRV 29

ALUMINUM STOREFRONT, WINDOW

A1. ANODIZED

SLIDING GLASS DOORS AND WINDOWS - ALUMINUM

B1. DARK BRONZE ANODIZED

MASONRY (SUPERLITE BLOCK)

C1. RAIN-16	INTERIALLY COLORED SMOOTH FACE - MN GRAY
C2. RAIN-16	INTERIALLY COLORED SMOOTH FACE - BLACK
C3. 4812K13	ELUDORADO (F7) - MN GRAY
C4. RAIN-16	HEXAGONAL, TEXTURED - RUTHERFORD

WOOD GRAB METAL SIGN, RAMP ROLL-FIN

D1. ALUMINUM HAZELNUT BROWN 6" V-GROOVE

METAL ROOF PANELS (MORIN OR EQ)

E1. CUSTOM COLOR TO MATCH PAINT A5

GENERAL NOTES

- STUCCO SYSTEM TO BE 5/8" POWERWALL OVER 1" INSULATION BOARD, WITH 1/8" FINE INTEGRAL COLORED FINISH TO MATCH PAINT COLOR SPECIFIED. SYSTEM TO BE INSTALLED OVER 8" TO GUARD WITH GOLD COAT WATER RESISTIVE BARRIER, PER THE FOLLOWING EVALUATION REPORTS:
ESR-1233 - 5/8" POWERWALL STUCCO SYSTEM
ESR-1233 - 5/8" GUARD WITH GOLD COAT WATER RESISTIVE BARRIER
- STUCCO CONTROL JOINTS SHOWN AT TYPICAL LOCATIONS ONLY. PROVIDE ADDITIONAL CONTROL JOINTS AS MAY BE REQUIRED AND RECOMMENDED BY STUCCO MANUFACTURER VERIFY LOCATION WITH ARCHITECT.
- STUCCO CONTROL JOINTS TO BE PROVIDED SO THAT MAX. STUCCO PANEL SIZE IS 144 SF WITH A WIDTH TO LENGTH RATIO OF 1 2/3. TYPICAL JOINT PLACEMENTS INCLUDE:
- HORIZONTALLY AT EACH FLOOR LEVEL
- VERTICALLY FROM CORNER OF SLIDING DOORS, WINDOWS AND BALCONIES
- ALL CONTROL JOINTS & REVEALS TO TERMINATE ON INSIDE CORNERS ONLY.
- PROVIDE SEALANT AT ALL STUCCO PENETRATIONS.
- PAINT ALL EXTERIOR MOUNTED ELECTRICAL AND MECHANICAL PANELS/BOXES TO MATCH ADJACENT SURFACE OF THE BUILDING.
- PAINT ALL VENTS, FLASHING, MISC. MATERIALS TO MATCH ADJ. BLDG. COLOR UNLESS OTHERWISE NOTED.
- ALL PAINT COLOR CHANGES TO TERMINATE ON INSIDE CORNERS ONLY.
- PROVIDE 6" SOLID CMU CAPS AT ALL EXPOSED CMU SITE WALLS.
- ALL EXPOSED DRYER AND EXHAUST VENTS TO BE ALIGNED HORIZONTALLY AT EACH FLOOR, AND VERTICALLY FROM FLOOR TO FLOOR, AND PAINTED TO MATCH ADJACENT STUCCO COLOR.
- ALL EXPOSED CMU TO BE RUNNING BOND, WITH RAKED JOINTS. UNLESS OTHERWISE NOTED.

K & I HOMES, LLC

4128 E BOWMAN SCHOOL RD
SUITE 2005
SCOTTSDALE, AZ 85261
PH: 602-958-2525



Clayton

75 on 2nd
7502 East 2nd Street
Scottsdale, AZ

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JOB NUMBER: 1809

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CHECKED BY: KB

ISSUE DATE: 8/10/2018

110" WESTMAN

110" WESTMAN

110" WESTMAN

110" WESTMAN

110" WESTMAN

110" WESTMAN

110" WESTMAN

110" WESTMAN

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110" WESTMAN

110" WESTMAN

110" WESTMAN

2-ZN-2019
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ReZone - Design
Review

A3.2





PERSPECTIVE VIEW FROM SOUTHEAST

PERSPECTIVE VIEW FROM SOUTHWEST



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SHEET TITLE:

Renderings

SHEET NUMBER:

A5

ReZone - Design Review

2-ZN-2019
2/14/19



SHEET INDEX

A0.1	Cover sheet
A0.2	Context Aerial
Survey:	
AS1	ALTA SURVEY
AS2	ALTA SURVEY
Civil:	
C1	Conceptual Cover Sheet
C2	Conceptual Grading and Drainage Plan
C3	Conceptual Utility Plan
Landscape:	
L1	Preliminary Landscape Plan - B&W
L2	Preliminary Landscape Plan - Color
Architectural:	
A1	Site Plan
A2.1	1st / Ground Floor Plan
A2.2	2nd Floor Plan
A2.3	3rd Floor Plan
A2.4	4th Floor Plan
A2.5	Roof Plan
A3	Exterior Elevations - B&W
A3	Exterior Elevations - Color
A4	Building Sections
A5	Renderings

APPLICANT / ARCHITECT

Company K&I HOMES, LLC
Address 6125 E Indian School Rd #2005
SCOTTSDALE, AZ 85251
Phone Number 602-955-2525
Contact KRISTIAN SKORDISBON

OWNER / DEVELOPER

Company CLAYTON 12TH STREET, LLC
Address 7340 E MAIN ST #200
SCOTTSDALE, AZ 85251
Phone Number 480-841-2380
Contact MAX FRENKEL



K & I HOMES, LLC

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SUITE 2005
SCOTTSDALE, AZ 85251
PH: 602-955-2525



Clayton

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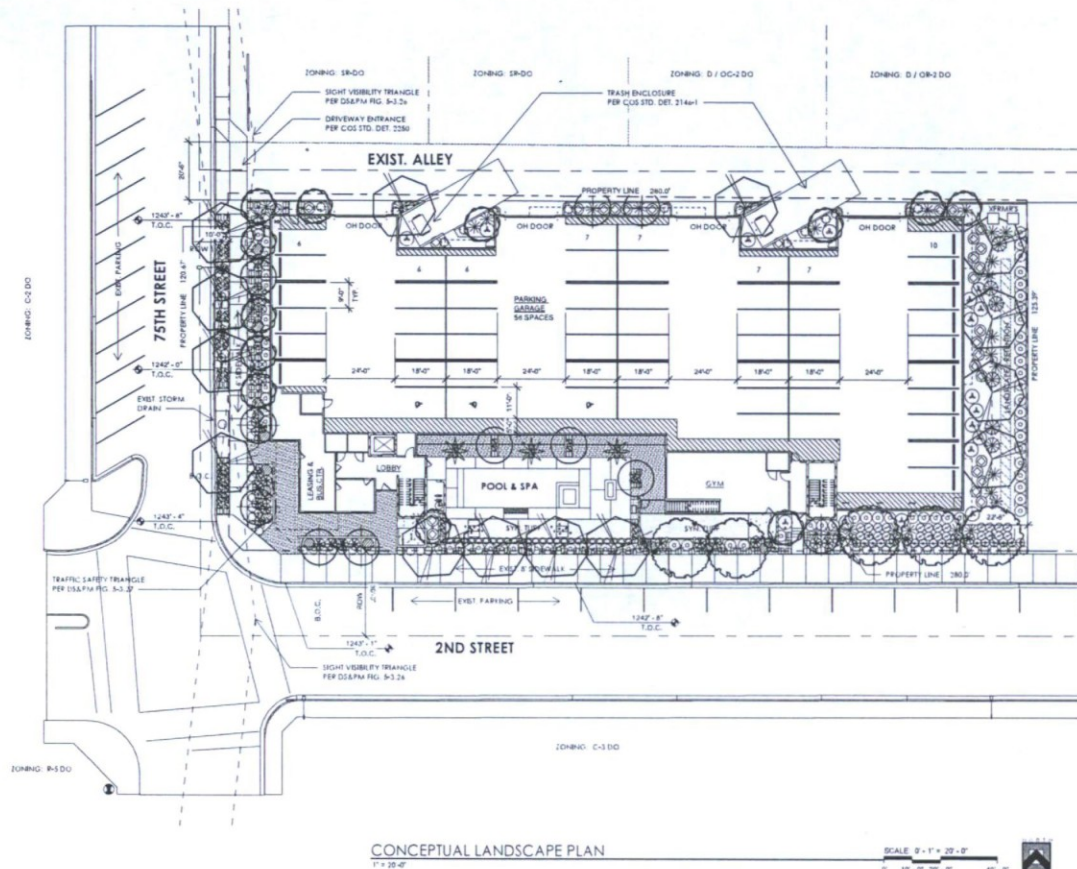
SHEET TITLE:
Cover Sheet

SHEET NUMBER:

A0.1

ReZone - Design
Review

2-ZN-2019
2/14/19



LANDSCAPE NOTES

1. DECOMPOSED GRANITE OR SIMILAR MATERIAL AROUND THE MATURE FORM OF A SPECIMEN PLANT, TREE CANOPY, OR GROUPS OF PLANTS, SHALL NOT EXCEED SEVEN (7) FEET IN ANY DIRECTION, PER ZONING ORDINANCE SECTION 10.501.A.
2. ALL TREES SHALL BE FIFTEEN (15) GALLON MINIMUM SIZE, AND A LEAST FIFTY (50) PERCENT SHALL BE MATURE TREES WITH A MINIMUM 2" CALIPER.
3. THIS PROJECT CONTAINS NO NEW PARKING / LANDSCAPE AREAS & REQUIREMENTS.
4. ALL PLANT MATERIALS SHALL BE FROM THE ARIZONA DEPARTMENT OF WATER RESOURCES' (ADWR) PHOENIX ACTIVE MANAGEMENT AREA PLANT LIST & IS EXEMPT FROM THE CITY OF SCOTTSDALE'S ENVIRONMENTALLY SENSITIVE LANDS ORDINANCE (ESLO) PLANT LIST.
5. THIS PROJECT DOES NOT CONTAIN ANY NATURAL AREA OPEN SPACE (HAOS).
6. NO NATIVE PLANT INVENTORY & SALVAGE REQUIRED FOR THIS LOCATION.
7. THORNY SHRUBS AND CACTI SHALL BE PLANTED SO THAT THEIR MATURE SIZE/CANOPY WILL BE AT LEAST 4 FEET AWAY FROM ANY WALKWAYS OR PARKING AREA CURBING, PER DSW SEC. 2-1.1001.13.
8. ALL SIDEWALKS TO BE A MIN. 6'-0" CLEAR.
9. ALL PAVEMENT SURFACES SHALL SUPPORT 83,000 LBS GROSS VEHICULAR WEIGHT PER DS & PM 2-1.802(3)
10. ALL LANDSCAPE AREAS SHALL BE IRRIGATED BY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
11. REFER TO CIVIL FOR ALL GRADING, DRAINAGE, RETENTION AREAS, SETBACKS, EASEMENTS & P.U.E. LOCATIONS

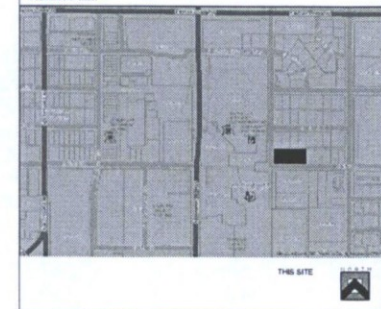
PLANT LEGEND

BOTANICAL NAME	COMMON NAME	CAL. SIZE	BOX SIZE	QTY	COMMENTS
TREE					
BAUHIA LUNARIODES	ANACACHO ORCHID TREE	1.25'	4	8'x6'	
CAESALPINA MEXICANA	MEXICAN BIRD OF PARADISE	1.5'	9	15'x15'	
QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	2.5'	15	40'x50'	
SOPHORA SECURIGRIFOLIA	TEXAS MOUNTAIN LAUREL	2'	13	15'x15'	
ULMUS PARVIFOLIA 'EMERALD II'	EVERGREEN ELM 'EMERALD'	1.5'	6	30'x30'	
SHRUB					
MUHLENBERGIA x PINK	PINK FLAMINGO MUHLY		5 Gal.	27	41' x 18" w
PALM					
ALOE HERCULES	TREE ALOE 'HERCULES'		15 Gal.	4	Contact - Pacific Palms Nursery
X BUTIAGRUS NABONNANDI	MULE PALM	12 T.F.		4	
SHRUBS					
CAESALPINA PULCHERRIMA	RED BIRD OF PARADISE		5 Gal.	18	
CALLIANDRA HYBRID 'SIERRA STARR'	SERPA STARR CALLIANDRA		5 Gal.	31	
EREMOPHILA HYPOCYPHANA	BLUE BELLS		5 Gal.	13	
EUPHORBIA BICIDA	COOPER PLANT		5 Gal.	37	
HESPERALOE PARVIFLORA	RED YUCCA		5 Gal.	30	
TECOMA STANS HYBRID 'SPARKY'	YELLOW BELLS 'SPARKY'		5 Gal.	69	
ACCENT					
AGAVE DESMETIANA	SMOOTH AGAVE		5 Gal.	29	
ALOE BLUE ELF	BLUE ELF ALOE		5 Gal.	56	
ALOE BARBARENSIS	MEDICINAL ALOE		5 Gal.	25	
DAIYUBURN WHEELER	DESERT SPOON		5 Gal.	7	
PEDILANTHUS MACROCARPA	LADY'S SLIPPER		5 Gal.	17	
GROUND COVER					
PORTULACARIA AFRA	ELEPHANT'S FOOT		3 Gal.	96	
SPHALETICOLA TRILOBATA	YELLOW DOT		1 Gal.	90	
GROUND PLANE TREATMENT					
SELECTED LANDSCAPE	3/4" MINUS DECOMPOSED GRANITE				+/- 6,725 S.F.
	MADISON GOLD				PER CIVIL PLANS
	3"-8" RIP RAP, 'MADISON GOLD'				
	2" AROUND ALL CATCH BASIN LOCATIONS (NATURAL PLACEMENT)				
	SYNTHETIC TURF - ACT GLOBAL 'NATURAL 48" INSTALL OVER 4" 1/4" MINUS DECOMPOSED GRANITE				+/- 775 S.F.

LANDSCAPE CALCULATIONS

LANDSCAPE OPEN SPACE	+/- 2,470 S.F.
PARKING LANDSCAPE	NA
FRONTAGE LANDSCAPE	+/- 624 S.F.

VICINITY MAP



K & I HOMES, LLC

4105 E INDIAN SCHOOL, RD
SUITE 2005
SCOTTSDALE, AZ 85261
PH: 602-968-2025



Clayton

PIXELstudios
DESIGN (DESIGN TO A WORLD NEW YORK)

75 on 2nd
7602 East 2nd Street
Scottsdale, AZ

Revisions

#	Description	Date
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OWNER'S REVIEW OF DOCUMENTS

CONTRACTOR HAS REVIEWED THE DOCUMENTS FOR CONFORMANCE WITH THE PROJECT REQUIREMENTS AND HAS REVIEWED THE INFORMATION FOR THE PROJECT. IT IS THE OWNER'S RESPONSIBILITY TO REVIEW THE DOCUMENTS FOR CONFORMANCE WITH THE PROJECT REQUIREMENTS AND TO REVIEW THE INFORMATION FOR THE PROJECT. IT IS THE OWNER'S RESPONSIBILITY TO REVIEW THE DOCUMENTS FOR CONFORMANCE WITH THE PROJECT REQUIREMENTS AND TO REVIEW THE INFORMATION FOR THE PROJECT.

JOB NUMBER: 18-004

DRAWN BY: DBS

CHECKED BY: DBS

ISSUE DATE: 01/30/19



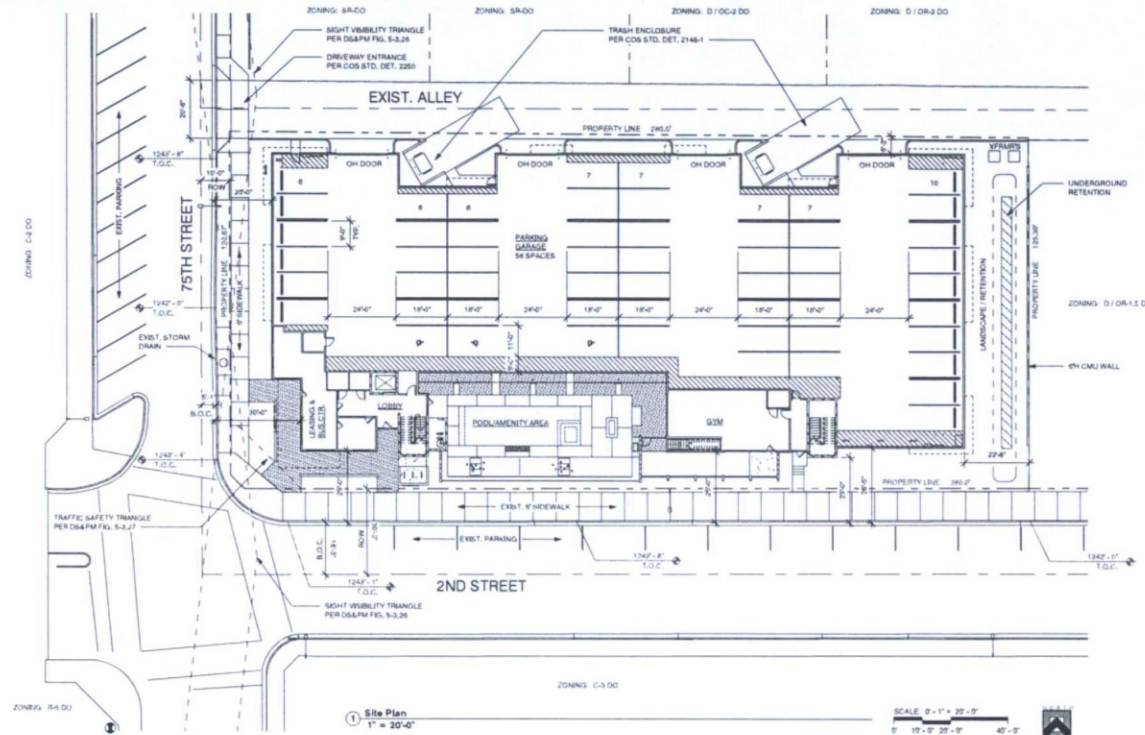
SHEET TITLE: Landscape Plan

SHEET NUMBER:

L-1

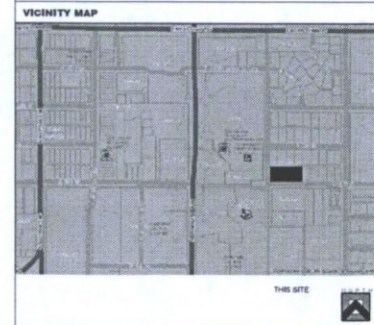
ReZone - Design Review

2-ZN-2019
2/14/19



PROJECT INFO			
PROJECT NAME	75 on 2nd		
NOTE ADDRESS	7502 E. 2ND STREET		
PROPOSED USE / SCOPE	3 & 4 STORY BOUTIQUE APARTMENT BUILDING WITH 39 UNITS		
PARCEL #S	LOTS 10-13		
	NET SITE AREA ±	GROSS SITE AREA ±	
	34,880 SF ± 0.81 ACRES	47,580 SF ± 1.09 ACRES	
CURRENT ZONING	LOTS 10-11	D / OR-2 DO	
	LOTS 12-13	S-A DO	
PROPOSED ZONING	D / OR-2 DO		
DENSITY UNIT DENSITY	39 DU/1.09 AC = 36	80 MAX. ALLOWED	
BUILDING HEIGHT	4 STORIES / 57'	80' MAX. ALLOWED	
LOT COVERAGE (NET SITE AREA)	35,003 SF/34,880 SF = 82.9%		
CONSTRUCTION TYPE	V-A FULLY SPRINKLERED		
BUILDING FLOOR AREA	GROSS SF	ACTUAL FLOOR AREA	
	GROUND FLOOR	R-2 / B / S-2	MIXED-USE
	2ND FLOOR	R-2	APARTMENTS
	3RD FLOOR	R-2	APARTMENTS
	4TH FLOOR	R-2	APARTMENTS
	TOTAL		70,760 SF
FLOOR AREA RATIO	81,428 / 34,880 = 1.47		
SPAR	2.888 / 47,580 = 0.06		1.3 MAX. ALLOWED
FIRE SPRINKLERS	YES FULL NFPA 13 & 13R		
OCCUPANCY GROUP	PARKING GARAGE		
	LEASING & GYM	S-2	
	APARTMENTS	R-2	
UNIT MIX	23 - 1 BED / 1.5 BATH & 16 - 2 BED / 2.5 BATH = 39 UNITS TOTAL		
OPEN SPACE PROVIDED	NONE		
	FRONT OPEN SPACE	± 4,800 SF	
	AMENITY OPEN SPACE	4,400 SF	
	OTHER OPEN SPACE	2,200 SF	
	TOTAL OPEN SPACE	± 11,300 SF	
PRIVATE OPEN SPACE REQUIRED	4' DEEP AND 40 SF MINIMUM EA. UNIT		
PRIVATE OPEN SPACE PROVIDED	4' DEEP TYPICAL UNIT AREA RANGE 65 SF - 208 SF / AVE. AREA 150 SF		
PARKING REQUIRED FOR RESIDENTIAL USE (R-2) X 10' MIN. SIZE PARKING SPACE			
1 BEDROOM UNITS	1.0 SF / UNIT	23 x 1.0 = 23 SPACES	
2 BEDROOM UNITS	2.0 SF / UNIT	16 x 2.0 = 32 SPACES	
TOTAL PARKING REQUIRED	55 SPACES		
ACCESSIBLE REQUIRED	4% OF TOTAL	= 3 SPACES	
BIKE PARKING REQUIRED	2 / 10 REQ'D PARKING SPACES = 11		
PARKING PROVIDED	STANDARD	ACCESSIBLE	TOTAL
PARKING GARAGE	53	3	56

LEGAL DESCRIPTION
 Lots 10, 11, 12, and 13, Block 2, of refile map, according to the plat of record in the office of the County Recorder of Maricopa County, Arizona, recorded in Book 48 of Maps, Page 57.
 To be combined into a single lot with a new FINAL PLAT



K & I HOMES, LLC
 4110 E INDIAN SCHOOL RD
 SUITE 200S
 SCOTTSDALE, AZ 85251
 PH: 602-608-2628



Clayton

75 on 2nd
 7502 East 2nd Street
 Scottsdale, AZ

Revisions

#	Description	Date

OWNERSHIP OF DOCUMENTS

CONTRACTOR HAS OBTAINED THE NECESSARY PERMITS FOR THIS PROJECT. THE CITY OF SCOTTSDALE HAS REVIEWED THE PROJECT AND HAS ISSUED THE NECESSARY PERMITS. THE CITY OF SCOTTSDALE HAS REVIEWED THE PROJECT AND HAS ISSUED THE NECESSARY PERMITS. THE CITY OF SCOTTSDALE HAS REVIEWED THE PROJECT AND HAS ISSUED THE NECESSARY PERMITS.

VICINITY MAP

THIS SITE

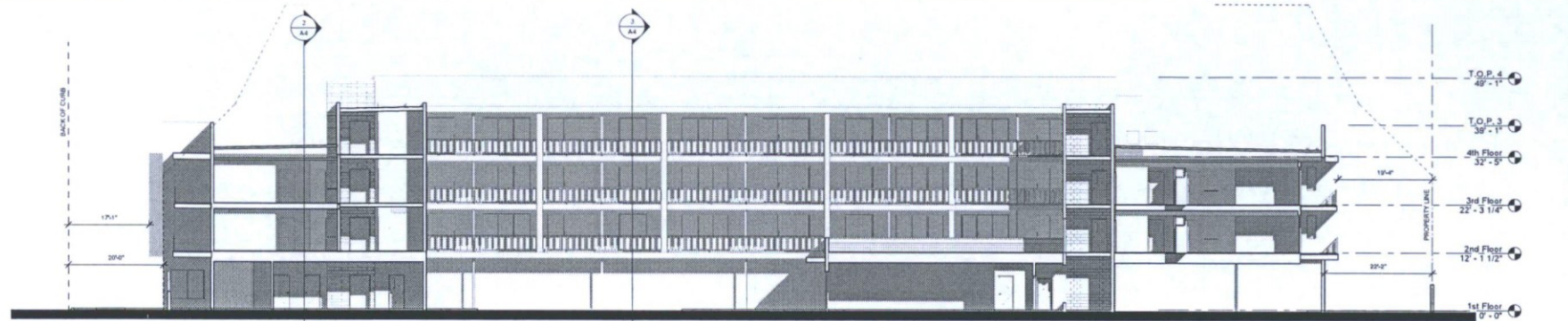
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SHEET NUMBER:

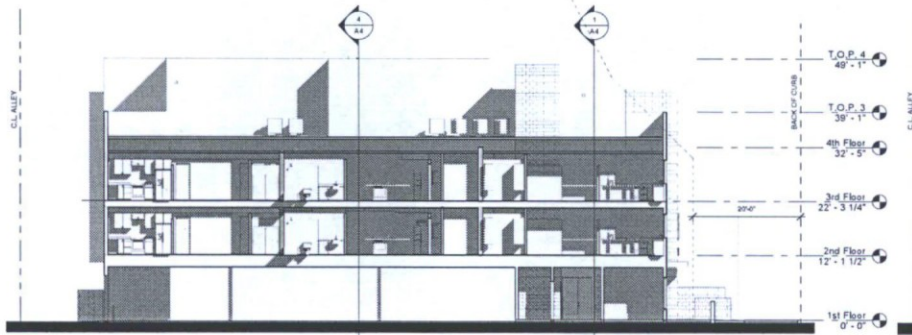
A1

ReZone - Design Review

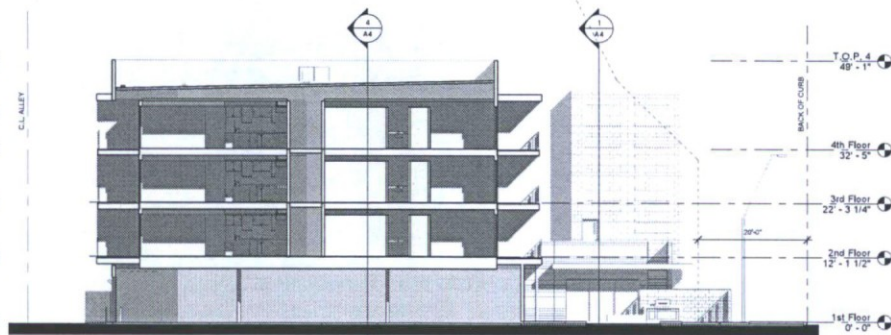
2-ZN-2019
2/14/19



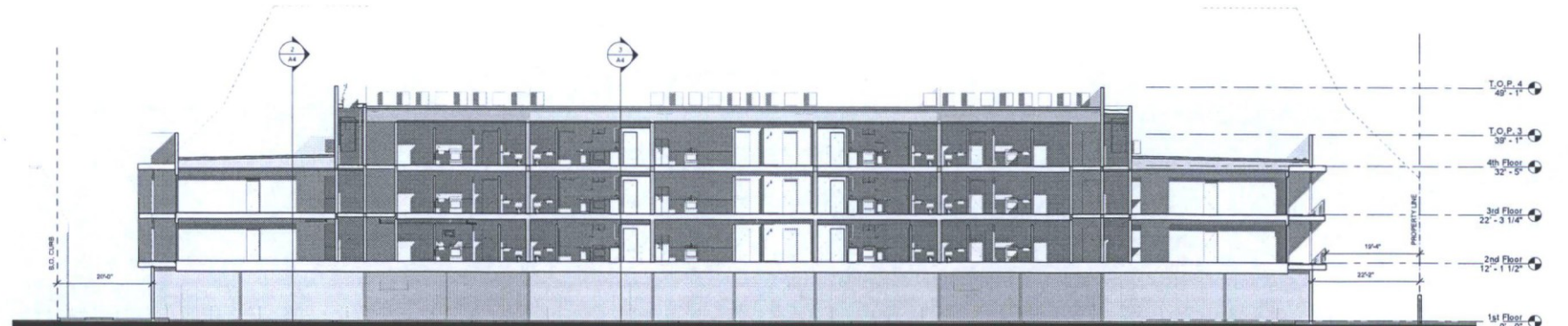
1 Section E-W Front
3/32" = 1'-0"



2 Section N-S West End
3/32" = 1'-0"



3 Section N-S Center
3/32" = 1'-0"



4 Section E-W Center
3/32" = 1'-0"

K & I HOMES, LLC

6138 E INDIAN SCHOOL RD
SUITE 200
SCOTTSDALE, AZ 85251
PH: 602-998-2529



Clayton

75 on 2nd
7502 East 2nd Street
Scottsdale, AZ

Revisions

#	Description	Date

OWNERSHIP OF

DOCUMENTS
THIS DRAWING AND ANY OTHERS TO BE USED FOR THE CONSTRUCTION OF ANY BUILDING OR STRUCTURE SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN AND SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN AND SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS.

JOB NUMBER: 1809

DRAWN BY: Author

CHECKED BY: Checker

ISSUE DATE: 01/01/2019



K. S. Srinivasan

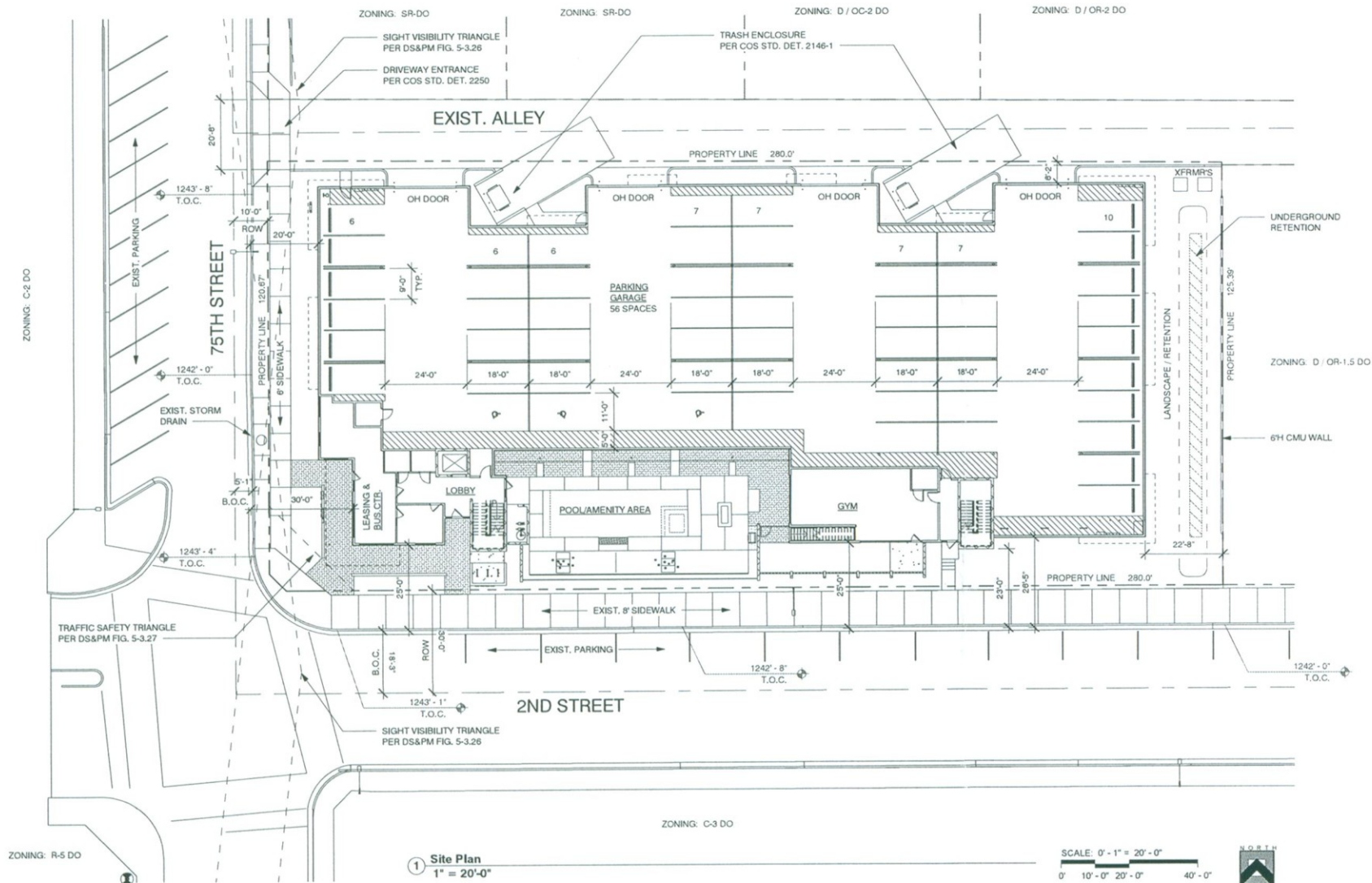
SHEET TITLE:
Building Sections - Overall

SHEET NUMBER:

A4

ReZone - Design Review

2-ZN-2019
2/14/19



PROJECT INFO

PROJECT NAME:	75 on 2nd	
SITE ADDRESS:	7502 E. 2ND STREET	
PROPOSED USE / SCOPE:	3 & 4 STORY BOUTIQUE APARTMENT BUILDING WITH 39 UNITS	
PARCEL #S:	LOTS 10-13 130-25-028B / 130-25-029A / 130-25-030A / 130-25-031A	
PARCEL SIZE	NET SITE AREA +/-	GROSS SITE AREA +/-
LOTS 10-13	34,980 SF = 0.80 ACRES	47,560 SF = 1.09 ACRES
CURRENT ZONING:	LOTS 10-11 D / OR-2 DO	LOTS 12-13 S-R DO
PROPOSED ZONING:	D / DMU-2 DO	
DWELLING UNIT DENSITY:	39 DU/1.09 AC = 36	50 MAX. ALLOWED
BUILDING HEIGHT:	4 STORIES / 50'	66' MAX. ALLOWED
LOT COVERAGE (NET SITE AREA):	20,002 SF/34,980 SF = 62.9 %	
CONSTRUCTION TYPE:	V-A FULLY SPRINKLERED	
BUILDING FLOOR AREA:	GROSS SF	ACTUAL FLOOR AREA
FLOOR	OCCUPANCY	DESCRIPTION
GROUND FLOOR	R-2 / B / S-2	MIXED-USE
2ND FLOOR	R-2	APARTMENTS
3RD FLOOR	R-2	APARTMENTS
4TH FLOOR	R-2	APARTMENTS
TOTAL		70,765 SF

FLOOR AREA RATIO:	51,429 / 34,980 = 1.47	
GFAR:	2,666 / 47,560 = 0.06	1.3 MAX. ALLOWED
FIRE SPRINKLERS:	YES FULL NFPA 13 & 13R	
OCCUPANCY GROUP:	PARKING GARAGE S-2	
	LEASING & GYM B	
	APARTMENTS R-2	
UNIT MIX:	23 - 1 BED / 1.5 BATH & 16 - 2 BED / 2.5 BATH = 39 UNITS TOTAL	
OPEN SPACE REQUIRED:	NONE	
OPEN SPACE PROVIDED:	FRONT OPEN SPACE +/- 4,600 SF	
	AMENITY OPEN SPACE 4,450 SF	
	OTHER OPEN SPACE 2,250 SF	
	TOTAL OPEN SPACE +/- 11,300 SF	
PRIVATE OPEN SPACE REQUIRED:	6' DEEP AND 60 SF MINIMUM EA. UNIT	
PRIVATE OPEN SPACE PROVIDED:	8' DEEP TYPICAL UNIT AREA RANGE 95 SF - 296 SF / AVE. AREA 189 SF	
PARKING REQUIRED FOR RESIDENTIAL USE (9'-0" X 18' MIN. SIZE PARKING SPACES):		
1 BEDROOM UNITS	1.0 SP / UNIT	23 x 1.0 = 23 SPACES
2 BEDROOM UNITS	2.0 SP / UNIT	16 x 2.0 = 32 SPACES
TOTAL PARKING REQUIRED	55 SPACES	
ACCESSIBLE REQUIRED:	4% OF TOTAL	3 SPACES
BIKE PARKING REQUIRED:	2 / 10 REQ'D PARKING SPACES	11
PARKING PROVIDED:	STANDARD	ACCESSIBLE
PARKING GARAGE	53	3
	56	12

LEGAL DESCRIPTION

Lots 10, 11, 12, and 13, Block 2, of redeveloped manor, according to the plat of record in the office of the County Recorder of Maricopa County, Arizona, recorded in Book 49 of Maps, Page 27
To be combined into a single lot with a new FINAL PLAT

VICINITY MAP



K&I HOMES, LLC

6125 E INDIAN SCHOOL RD
SUITE 2005
SCOTTSDALE, AZ 85251
PH: 602-505-2925



Clayton

75 on 2nd
7502 East 2nd Street
Scottsdale, AZ

Revisions

#	Description	Date
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OWNERSHIP OF DOCUMENTS

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT FOR WHICH THEY WERE PREPARED IS EXECUTED OR NOT. THEY ARE NOT TO BE USED ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO K&I HOMES, LLC.

JOB NUMBER: 1809

DRAWN BY: KS

CHECKED BY: KS

ISSUE DATE: 01/31/2019



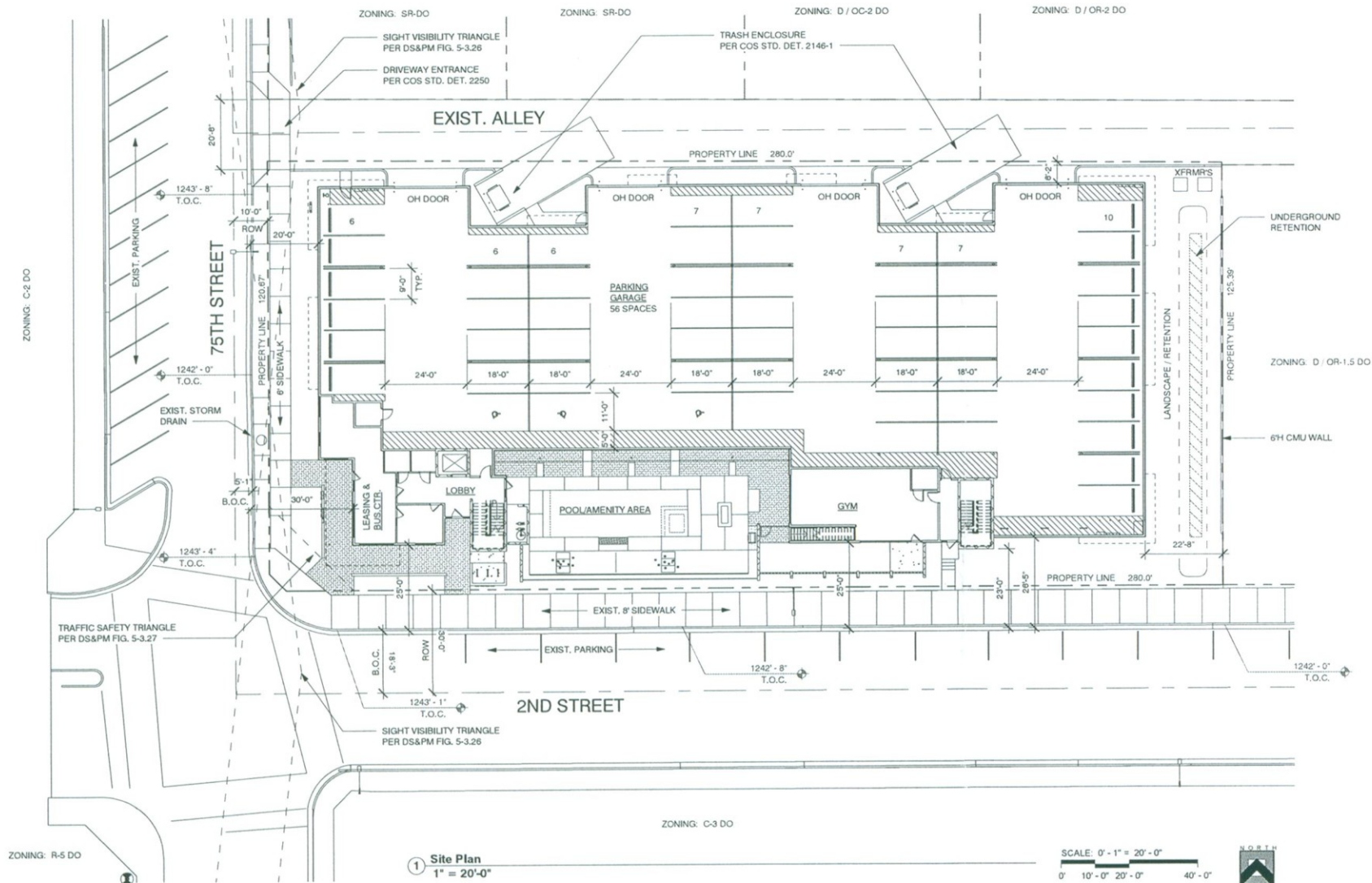
SHEET TITLE:
Site Plan

SHEET NUMBER:

A1

ReZone - Design
Review

2-ZN-2019
2/14/19



PROJECT INFO

PROJECT NAME:	75 on 2nd	
SITE ADDRESS:	7502 E. 2ND STREET	
PROPOSED USE / SCOPE:	3 & 4 STORY BOUTIQUE APARTMENT BUILDING WITH 39 UNITS	
PARCEL #S:	LOTS 10-13 130-25-028B / 130-25-029A / 130-25-030A / 130-25-031A	
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CURRENT ZONING:	LOTS 10-11	D / OR-2 DO
	LOTS 12-13	S-R DO
PROPOSED ZONING:	D / DMU-2 DO	
DWELLING UNIT DENSITY:	39 DU/1.09 AC = 36	50 MAX. ALLOWED
BUILDING HEIGHT:	4 STORIES / 50'	66' MAX. ALLOWED
LOT COVERAGE (NET SITE AREA):	20,002 SF/34,980 SF = 62.9 %	
CONSTRUCTION TYPE:	V-A FULLY SPRINKLERED	
BUILDING FLOOR AREA:	GROSS SF	ACTUAL FLOOR AREA
FLOOR	OCCUPANCY	DESCRIPTION
GROUND FLOOR	R-2 / B / S-2	MIXED-USE
2ND FLOOR	R-2	APARTMENTS
3RD FLOOR	R-2	APARTMENTS
4TH FLOOR	R-2	APARTMENTS
TOTAL		70,765 SF

FLOOR AREA RATIO:	51,429 / 34,980 = 1.47	
GFAR:	2,666 / 47,560 = 0.06	1.3 MAX. ALLOWED
FIRE SPRINKLERS:	YES FULL NFPA 13 & 13R	
OCCUPANCY GROUP:	PARKING GARAGE S-2	
	LEASING & GYM B	
	APARTMENTS R-2	
UNIT MIX:	23 - 1 BED / 1.5 BATH & 16 - 2 BED / 2.5 BATH = 39 UNITS TOTAL	
OPEN SPACE REQUIRED:	NONE	
OPEN SPACE PROVIDED:	FRONT OPEN SPACE +/- 4,600 SF	
	AMENITY OPEN SPACE 4,450 SF	
	OTHER OPEN SPACE 2,250 SF	
	TOTAL OPEN SPACE +/- 11,300 SF	
PRIVATE OPEN SPACE REQUIRED:	6' DEEP AND 60 SF MINIMUM EA. UNIT	
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1 BEDROOM UNITS	1.0 SP / UNIT	= 23 x 1.0 =	23 SPACES
2 BEDROOM UNITS	2.0 SP / UNIT	= 16 x 2.0 =	32 SPACES
TOTAL PARKING REQUIRED			55 SPACES
ACCESSIBLE REQUIRED:	4% OF TOTAL	=	3 SPACES
BIKE PARKING REQUIRED:	2 / 10 REQ'D PARKING SPACES	=	11
PARKING PROVIDED:	STANDARD	ACCESSIBLE	TOTAL BIKES
PARKING GARAGE	53	3	56 12

LEGAL DESCRIPTION

Lots 10, 11, 12, and 13, Block 2, of redeveloped manor, according to the plat of record in the office of the County Recorder of Maricopa County, Arizona, recorded in Book 49 of Maps, Page 27
To be combined into a single lot with a new FINAL PLAT

VICINITY MAP



K&I HOMES, LLC

6125 E INDIAN SCHOOL RD
SUITE 2005
SCOTTSDALE, AZ 85251
PH: 602-505-2925



Clayton

75 on 2nd
7502 East 2nd Street
Scottsdale, AZ

Revisions

#	Description	Date
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OWNERSHIP OF DOCUMENTS

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT FOR WHICH THEY WERE PREPARED IS EXECUTED OR NOT. THEY ARE NOT TO BE USED ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO K&I HOMES, LLC.

JOB NUMBER: 1809

DRAWN BY: KS

CHECKED BY: KS

ISSUE DATE: 01/31/2019



SHEET TITLE:
Site Plan

SHEET NUMBER:

A1

ReZone - Design
Review

2-ZN-2019
2/14/19



1 Site Plan - Aerial Overlay
1" = 80'-0"

SCALE: $1'' = 60'$

2-ZN-2019
2/14/19

K & I HOMES, LLC

 Clayton

75 on 2nd
7502 East 2nd Street
Scottsdale, AZ

Revisions		
#	Description	Date

OWNERSHIP OF DOCUMENTS

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT FOR WHICH THEY WERE PREPARED IS EXECUTED OR NOT; THEY ARE NOT TO BE USED ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO K & I HOMES, L.L.C.

JOB NUMBER: 1809
DRAWN BY: KS
CHECKED BY: KS
ISSUE DATE: 01/31/2019



SHEET TITLE:
Context Aerial

SHEET NUMBER:

A0.2

ReZone - Design Review



② 3D View - from SW
12" = 1'-0"



① 3D View - from NW
12" = 1'-0"

SHEET INDEX

- | | |
|-----------------------|--------------------------------------|
| A0.1 | Cover sheet |
| A0.2 | Context Aerial |
| Survey: | |
| AS1 | ALTA SURVEY |
| AS2 | ALTA SURVEY |
| Civil: | |
| C1 | Conceptual Cover Sheet |
| C2 | Conceptual Grading and Drainage Plan |
| C3 | Conceptual Utility Plan |
| Landscapes: | |
| L1 | Preliminary Landscape Plan - B&W |
| L2 | Preliminary Landscape Plan - Color |
| Architectural: | |
| A1 | Site Plan |
| A2.1 | 1st / Ground Floor Plan |
| A2.2 | 2nd Floor Plan |
| A2.3 | 3rd Floor Plan |
| A2.4 | 4th Floor Plan |
| A2.5 | Roof Plan |
| A3 | Exterior Elevations - B&W |
| A3 | Exterior Elevations - Color |
| A4 | Building Sections |
| A5 | Renderings |

APPLICANT / ARCHITECT

Company K&I HOMES, LLC
Address 6125 E Indian School Rd #2005
SCOTTSDALE, AZ 85251
Phone Number 602-505-2525
Contact KRISTJAN SIGURDSSON

OWNER / DEVELOPER

Company CLAYTON 12TH STREET, LLC
Address 7340 E MAIN ST #200
SCOTTSDALE, AZ 85251
Phone Number 480-941-2260
Contact MAX FRENKEL



K & I HOMES, LLC

6125 E INDIAN SCHOOL RD
SUITE 2005
SCOTTSDALE, AZ 85251
PH: 602-505-2525



Clayton

75 on 2nd
7502 East 2nd Street
Scottsdale, AZ

Revisions

#	Description	Date
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OWNERSHIP OF DOCUMENTS

DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. WHETHER THE PROJECT FOR WHICH THEY WERE PREPARED IS COMPLETED OR NOT, THEY ARE NOT TO BE USED ON OTHER PROJECTS OR EXTENDED TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO K & I HOMES, LLC.

JOB NUMBER: 1809

DRAWN BY: KS

CHECKED BY: KS

ISSUE DATE: 01/31/2019



K. Sigurdsson

SHEET TITLE:
Cover Sheet

SHEET NUMBER:

A0.1

ReZone - Design
Review



1 Site Plan - Aerial Overlay
1" = 80'-0"

2-ZN-2019
2/14/19

1" = 80'-0"
0' 40' - 0" 80' - 0" 160' - 0"



K & I HOMES, LLC

8125 E INDIAN SCHOOL RD
SUITE 2005
SCOTTSDALE, AZ 85251
PH: 602-505-2525



Clayton

75 on 2nd
7502 East 2nd Street
Scottsdale, AZ

Revisions

#	Description	Date
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OWNERSHIP OF DOCUMENTS

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JOB NUMBER: 1809
DRAWN BY: KS
CHECKED BY: KS
ISSUE DATE: 01/31/2019



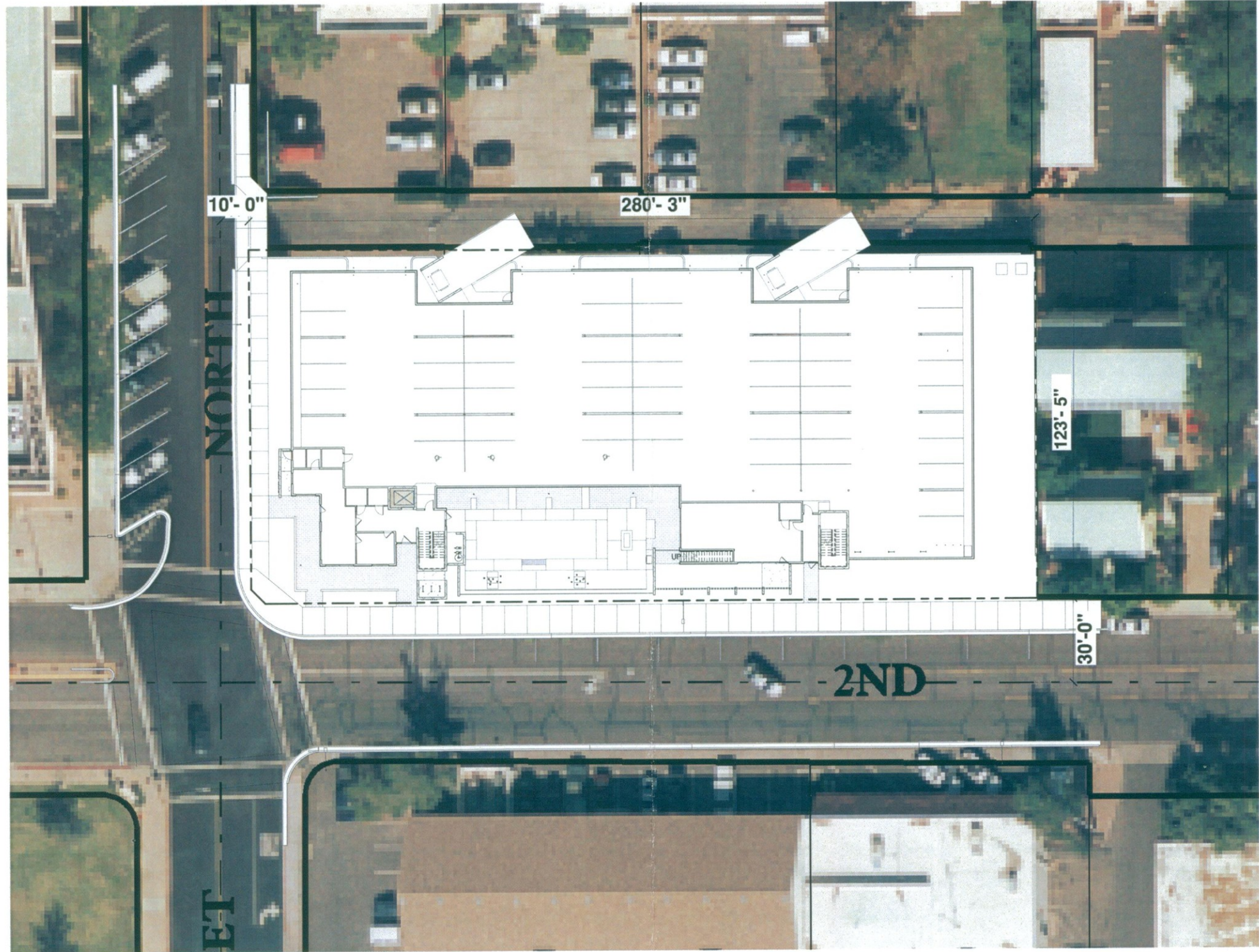
K. Sigurdsson

SHEET TITLE:
Context Aerial

SHEET NUMBER:

A0.2

ReZone - Design
Review



1 Site Plan - Boundary
1" = 20'-0"

2-ZN-2019
2/14/19



Clayton

75 on 2nd
7502 East 2nd Street
Scottsdale, AZ

Revisions		
#	Description	Date

OWNERSHIP OF DOCUMENTS
DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THE PROJECT FOR WHICH THEY WERE PREPARED IS EXCLUDED OR NOT, THEY ARE NOT TO BE USED ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO K & I HOMES, LLC.

JOB NUMBER: 1808
DRAWN BY: Author
CHECKED BY: Checker
ISSUE DATE: 01/31/2019



K. Sigurdsson

SHEET TITLE:
Boundary Plan

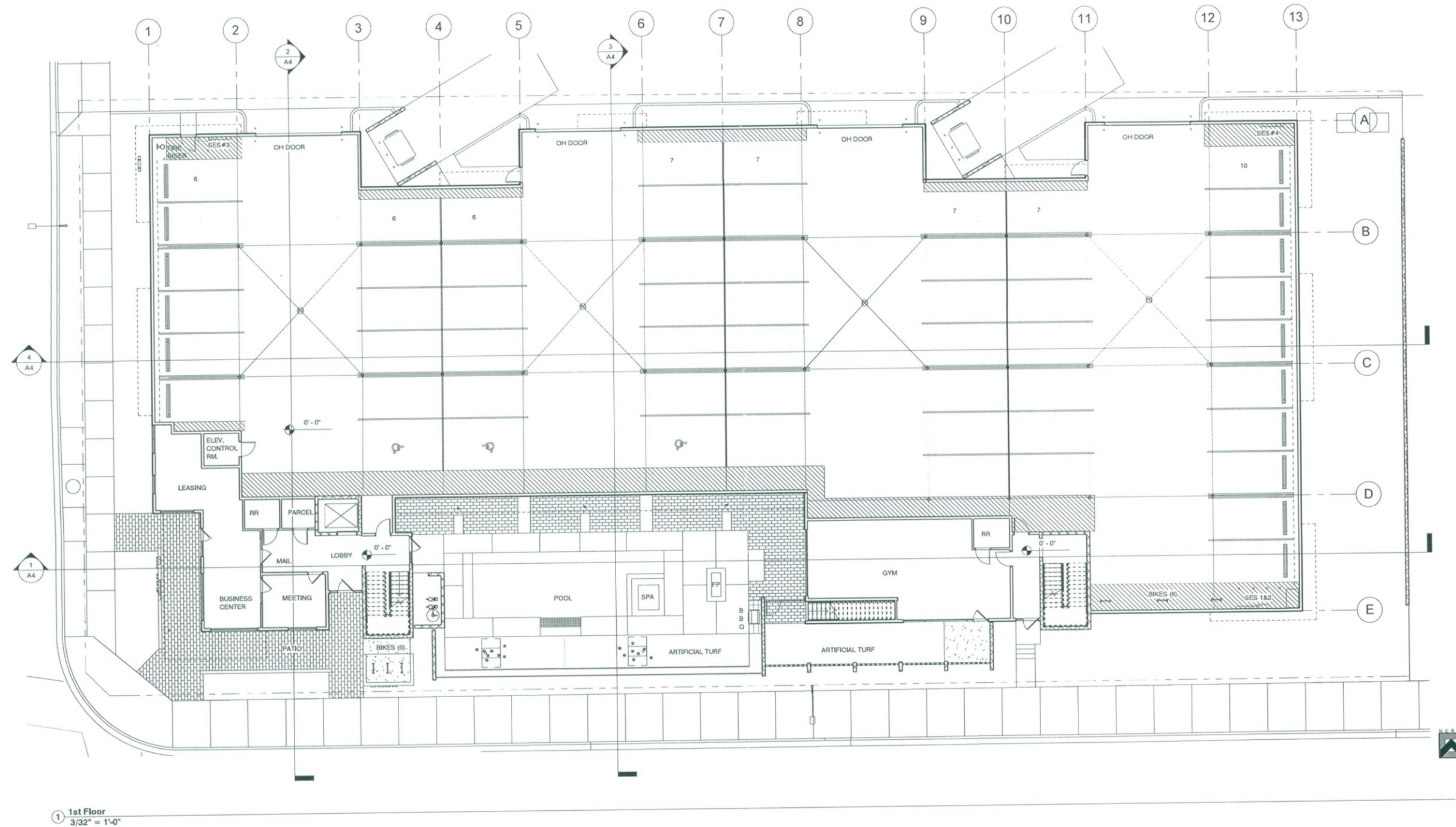
SHEET NUMBER:

A0.3

ReZone - Design
Review

K & I HOMES, LLC

6125 E INDIAN SCHOOL RD
SUITE 2005
SCOTTSDALE, AZ 85251
PH: 602-505-2525



1 1st Floor
3/32" = 1'-0"

2-ZN-2019
2/14/19

K & I HOMES, LLC

6125 E INDIAN SCHOOL RD
SUITE 2005
SCOTTSDALE, AZ 85251
PH: 602-505-2925



Clayton

75 on 2nd
7502 East 2nd Street
Scottsdale, AZ

Revisions

#	Description	Date
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OWNERSHIP OF DOCUMENTS

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JOB NUMBER: 1809

DRAWN BY: KS

CHECKED BY: KS

ISSUE DATE: 01/31/2019



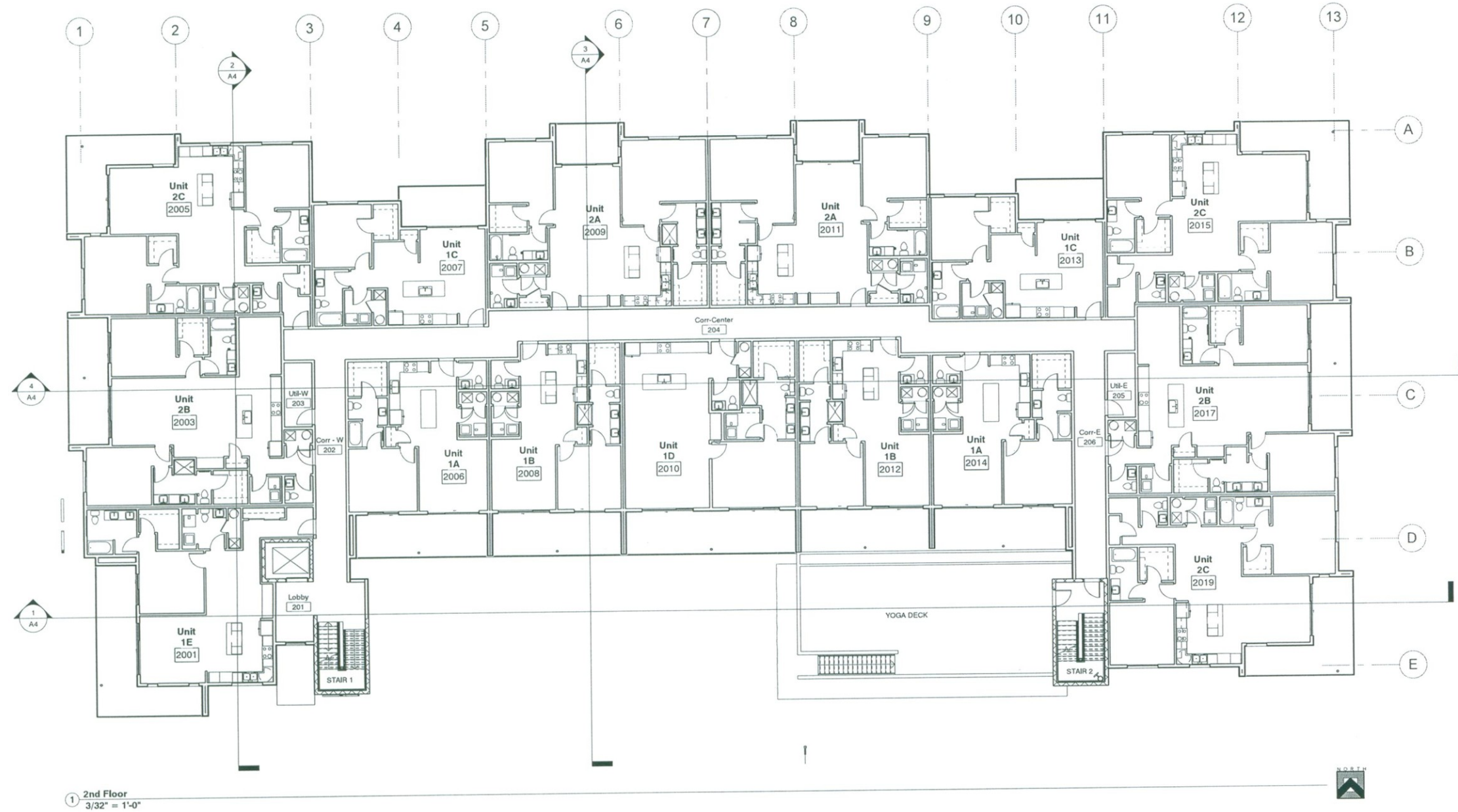
K. Sigurdsson

SHEET TITLE:
1st Floor Plan

SHEET NUMBER:

A2.1

ReZone - Design
Review



1 2nd Floor
3/32" = 1'-0"

2-ZN-2019
2/14/19

K & I HOMES, LLC

6125 E INDIAN SCHOOL RD
SUITE 2005
SCOTTSDALE, AZ 85251
PH: 602-505-2525



Clayton

75 on 2nd
7502 East 2nd Street
Scottsdale, AZ

Revisions

#	Description	Date
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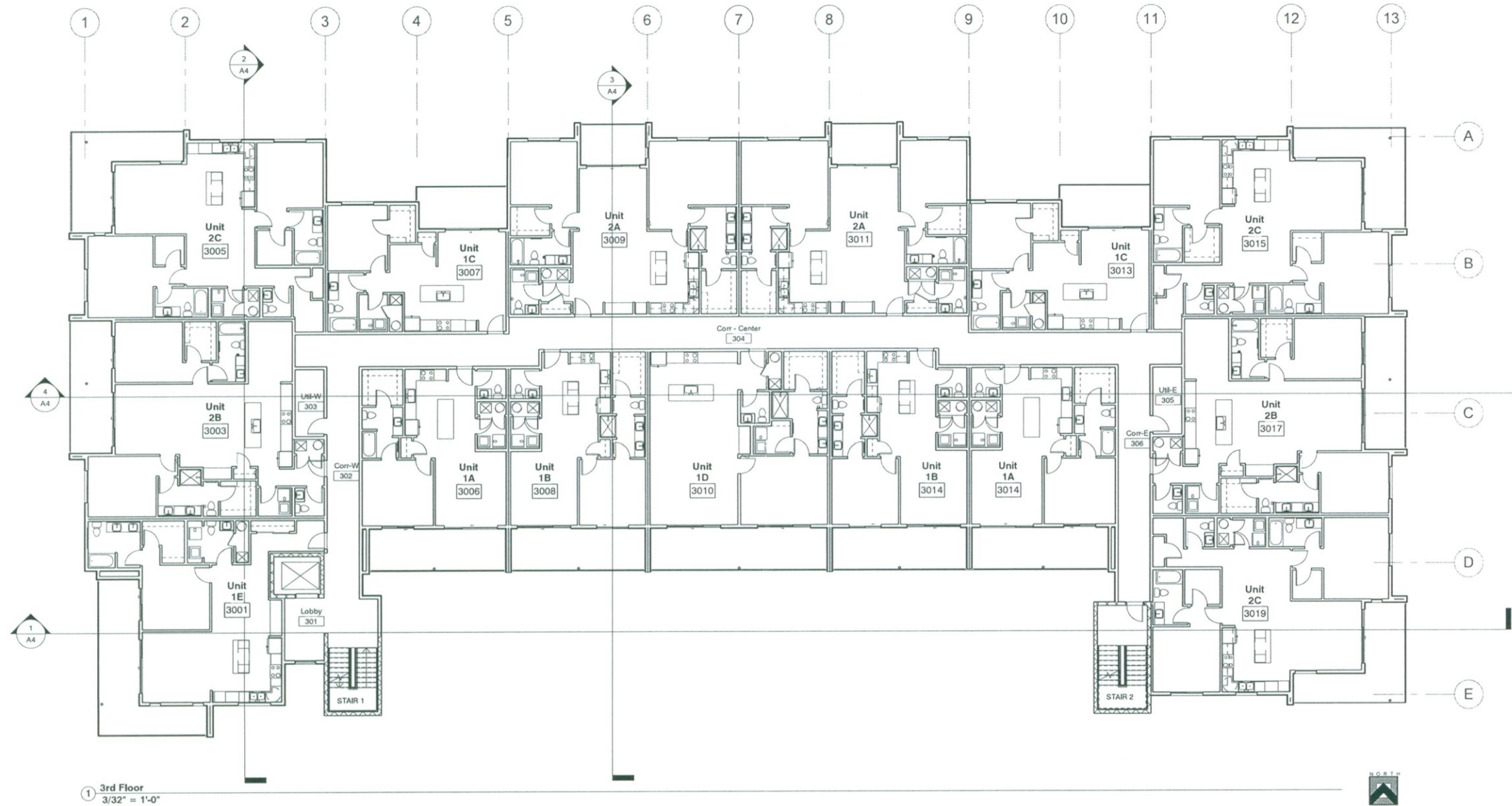
K. Sigurdsson

SHEET TITLE:
2nd Floor Plan

SHEET NUMBER:

A2.2

ReZone - Design
Review



75 on 2nd		Unit Mix & Areas			Rezone / DRB					1/22/2019		
Unit	Type	Gross Areas			Net Areas	Number of units per Building			Total Units	Total Gross Areas	Total Net Areas	
		Unit	Balcony	Total	Unit	2nd Flr	3rd Flr	4th Flr	Units	Units	Balconies	Units
1A	1Bed	836	207	1,043	778	2	2	2	6	5,016	1,242	4,668
1B		844	207	1,051	789	2	2	2	6	5,064	1,242	4,734
1C		748	134	882	691	2	2	2	6	4,488	804	4,146
1D		1,126	271	1,397	1,063	1	1	1	3	3,378	813	3,189
1E		1,054	296	1,350	977	1	1		2	2,108	592	1,954
												0
2A	2 Bed	1,361	95	1,456	1,280	2	2	2	6	8,166	570	7,680
2B		1,399	190	1,589	1,322	2	2		4	5,596	760	5,288
2C		1,360	222	1,582	1,281	3	3		6	8,160	1,332	7,686
Total						15	15	9	39	41,976	7,355	39,345

Average Unit Size and Ratios

Number of Units	Type	Ave. Unit Gross Area	Ave. Unit Net Area	Ratio	Ave. Balcony Area
23	1 Bed	872	813	59.0%	
16	2 Bed	1,370	1,291	41.0%	
39	Average	876	815	100.0%	189

BUILDING GROSS FLOOR AREAS: SF

Floor	Area
1ST FLOOR	22,002
2ND FLOOR	18,945
3RD FLOOR	18,945
4TH FLOOR	10,873
TOTAL	70,765

Note:
Gross Rentable Areas calculated from outside face (sheathing) of exterior wall

Net Unit Area calculated from inside face of finished walls (Paint to Paint)

Gross Building Areas Measured from outside face of exterior wall sheathing

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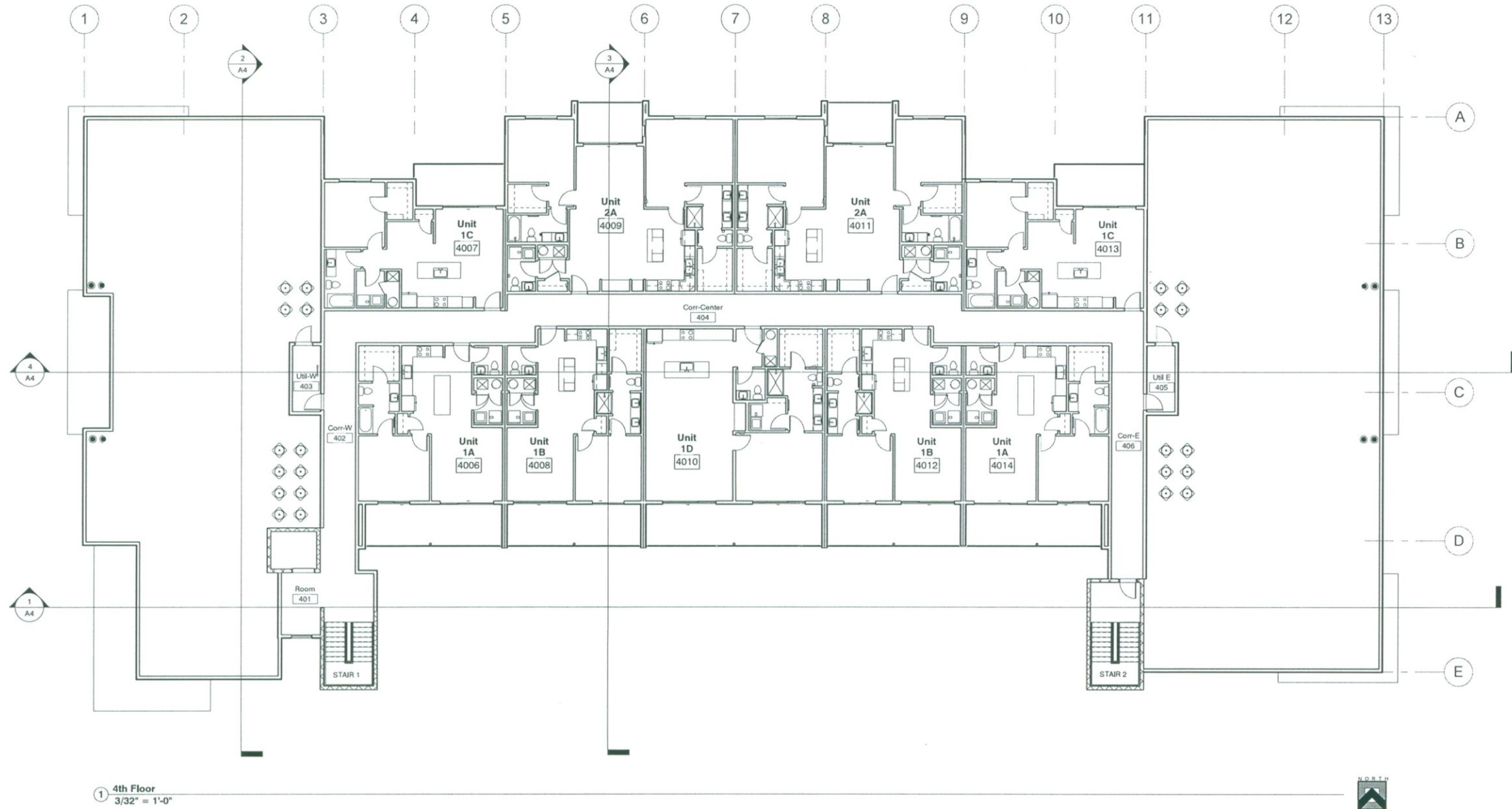
SHEET TITLE:
3rd Floor Plan

SHEET NUMBER:

A2.3

ReZone - Design Review

2-ZN-2019
2/14/19



2-ZN-2019
2/14/19

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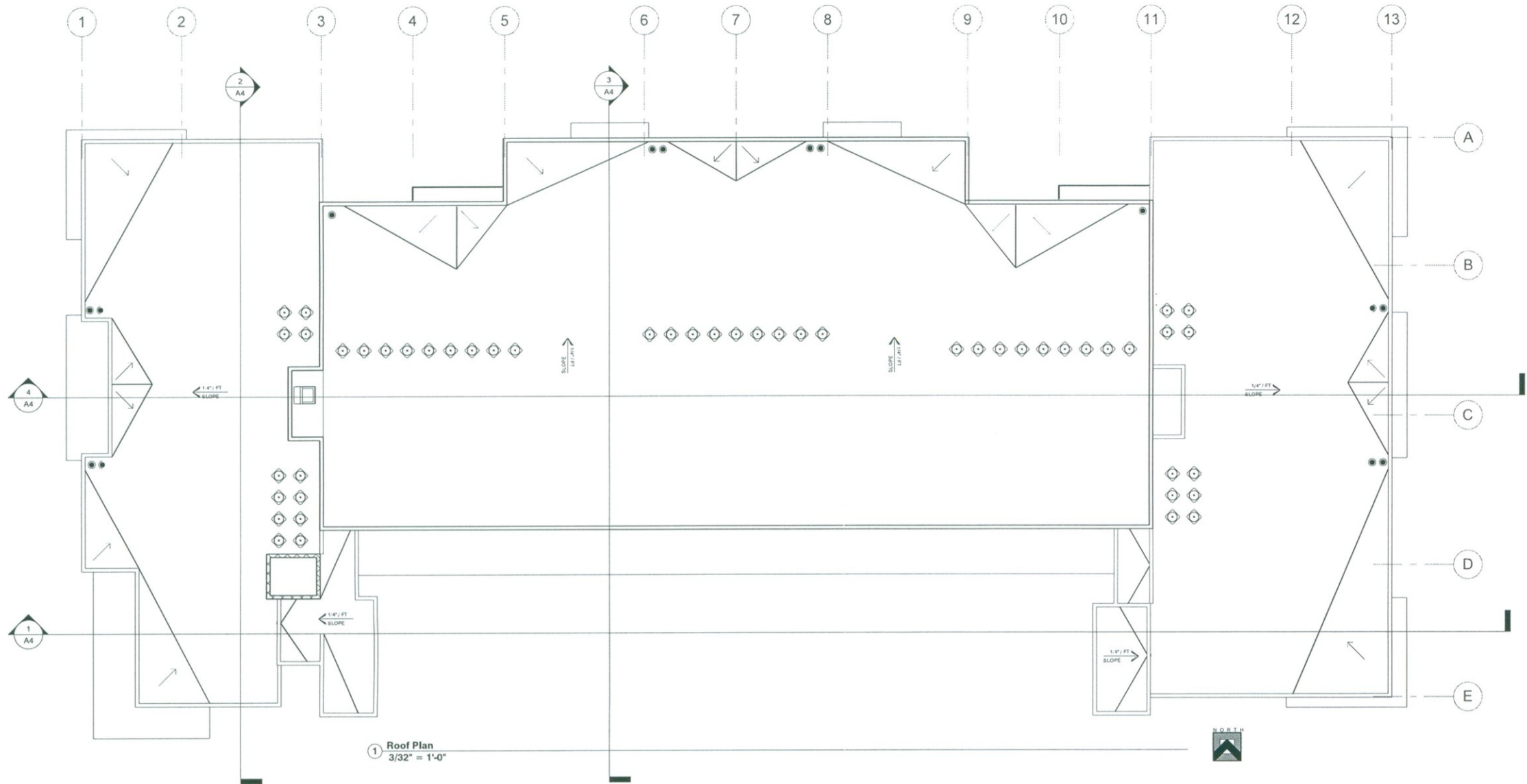
K. Sigurdsson

SHEET TITLE:
4th Floor Plan

SHEET NUMBER:

A2.4

ReZone - Design
Review



1 Roof Plan
3/32" = 1'-0"

- 1/4" / FT SLOPE ROOF SLOPE TO DRAIN 1/4" PER FOOT.
- ROOF CRICKET SLOPE TO DRAIN
- OF DRAIN AND OVERFLOW - REFER TO DETAIL 2 / A9.4
- CONDENSING UNITS ON RAISED PLATFORM.
- 0' - 0" HEIGHT OF ELEMENT A.F.F. (0'-0")

2-ZN-2019
2/14/19

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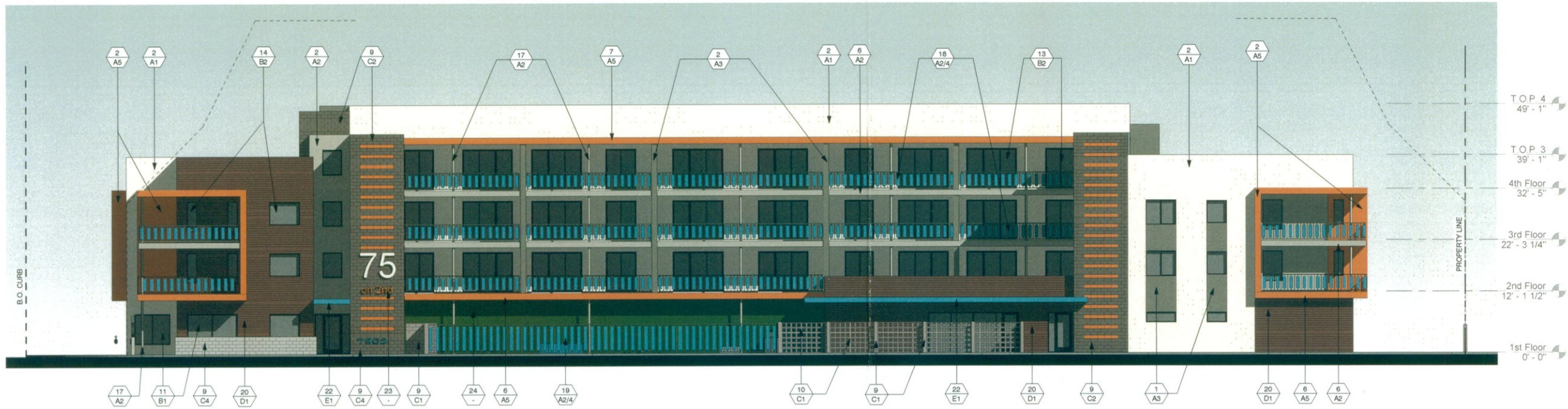


SHEET TITLE:
Roof Plan

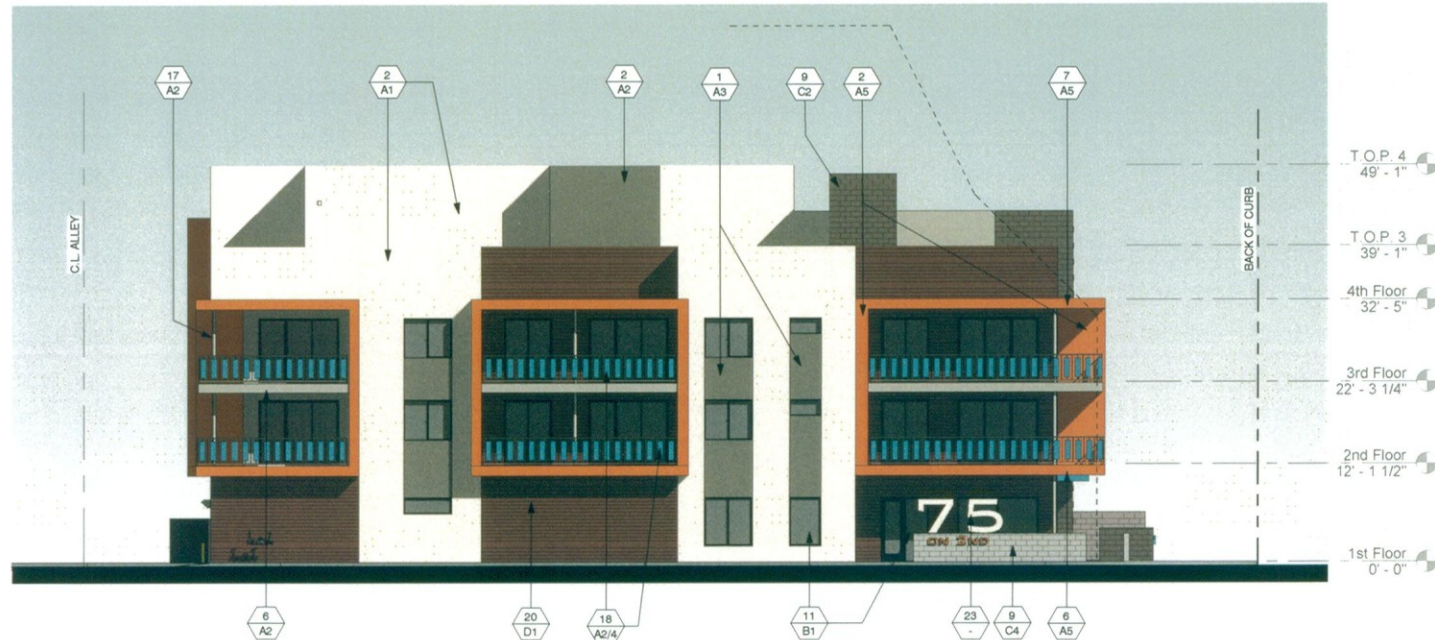
SHEET NUMBER:

A2.5

ReZone - Design
Review



1 South Elevation
3/32" = 1'-0"



2 West Elevation
3/32" = 1'-0"

MATERIAL / COLOR SCHEDULE

MATERIAL
COLOR

MATERIALS / KEY NOTES

- STUCCO OVER PAPER BACKED METAL LATH ON EXT. GRADE PLYWOOD SHEATHING
- STUCCO OVER METAL LATH AND 1" FOAM ON EXT. GRADE PLYWOOD SHEATHING
- STUCCO OVER METAL LATH AND 1" FOAM OVER CMU
- STUCCO CONTROL JOINT
- BALCONY FACIA WITH METAL T-BAR AND STUCCO FINISH
- ROOF OVERHANG - STUCCO FRONT FACIA AND UNDERSIDE
- EXPOSED MASONRY - RUNNING BOND, RAKED JOINTS
- DECORATIVE FENCE BLOCK PANEL - STACKED BOND, RAKED JOINTS
- ALUMINUM STOREFRONT - FACTORY FINISH
- ALUMINUM STOREFRONT / DOORS - SEE SCHEDULE
- SLIDING ALUMINUM/GLASS PATIO DOORS - FACTORY FINISH - SEE SCHEDULE
- FIXED/SINGLE SLIDING ALUMINUM WINDOW - FACTORY FINISH - SEE SCHEDULE
- HOLLOW METAL DOOR AND FRAME - PAINTED - SEE SCHEDULE
- SECTIONAL GARAGE DOOR - FACTORY FINISH - SEE SCHEDULE
- STEEL COLUMN - PAINTED
- TUBE STEEL RAILING/GUARDRAIL - PAINTED
- TUBE STEEL VIEW / POOL FENCE - PAINTED
- HORIZONTAL METAL SIDING
- CMU REFUSE ENCLOSURE
- STANDING SEAM METAL ROOF
- BUILDING SIGNAGE - UNDER SEPARATE PERMIT AND SUBMITTAL

COLORS

PAINT: (DUNN EDWARDS 'DE)			
A1	MAIN FIELD (LIGHT GRAY)	DE872 - LACE VAIL	- LRV 77
A2	2ND FIELD (MEDIUM GRAY)	DE875 - CASTLEROCK	- LRV 43
A3	ACCENT (DARK GRAY)	DE677 - BOAT ANCHOR	- LRV 14
A4	ACCENT (TEAL)	DET546 - OASIS	- LRV 24
A5	ACCENT (ORANGE)	DES229 - CLAY TERRACE	- LRV 29

ALUMINUM STOREFRONT: (ARCADIA)
B1: AB-7 STANDARD DARK BRONZE ANODIZED

SLIDING GLASS DOORS AND WINDOWS: (MILGARD)
B2: DARK BRONZE ANODIZED

MASONRY (SUPERLITE BLOCK)
C1: 8x8x16 INTEGRALLY COLORED SMOOTH FACE - MW GRAY
C2: 8x8x16 INTEGRALLY COLORED SMOOTH FACE - BLACK
C3: 4X12X12 ELDORADO (#7) - MW GRAY
C4: 8x8x16 MESASTONE, TEXTURED - RUTHERFORD

WOOD GRAIN METAL SIDING: (RMP ROLLFAB)
D1: ALUMABOARD HAZELNUT BROWN 6" V-GROOVE

METAL ROOF PANELS (MORIN OR EQ.)
E1: CUSTOM COLOR TO MATCH PAINT A5

GENERAL NOTES

- STUCCO SYSTEM TO BE 'STO POWERWALL' OVER 1" INSULATION BOARD, WITH 1.0/FINE INTEGRAL COLORED FINISH TO MATCH PAINT COLOR SPECIFIED. SYSTEM TO BE INSTALLED OVER STO GUARD WITH GOLD COAT WATER RESISTIVE BARRIER, PER THE FOLLOWING EVALUATION REPORTS:
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ESR-1233 STO GUARD WITH GOLD COAT WATER RESISTIVE BARRIERS
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- HORIZONTALLY AT EACH FLOOR LEVEL
- VERTICALLY FROM CORNER OF SLIDING DOORS, WINDOWS AND BALCONIES
- ALL CONTROL JOINTS & REVEALS TO TERMINATE ON INSIDE CORNERS ONLY.
- PROVIDE SEALANT AT ALL STUCCO PENETRATIONS.
- PAINT ALL EXTERIOR MOUNTED ELECTRICAL AND MECHANICAL PANELS/BOXES TO MATCH ADJACENT SURFACE OF THE BUILDING.
- PAINT ALL VENTS, FLASHING, MISC. MATERIALS TO MATCH ADJ. BLDG. COLOR U.N.O.
- ALL PAINT COLOR CHANGES TO TERMINATE ON INSIDE CORNERS ONLY.
- PROVIDE 2" SOLID CMU CAPS AT ALL EXPOSED CMU SITE WALLS
- ALL EXPOSED DRYER AND EXHAUST VENTS TO BE ALIGNED HORIZONTALLY (AT EACH FLOOR), AND VERTICALLY (FROM FLOOR TO FLOOR) AND PAINTED TO MATCH ADJACENT STUCCO COLOR
- ALL EXPOSED CMU TO BE RUNNING BOND, WITH RAKED JOINTS, U.N.O.

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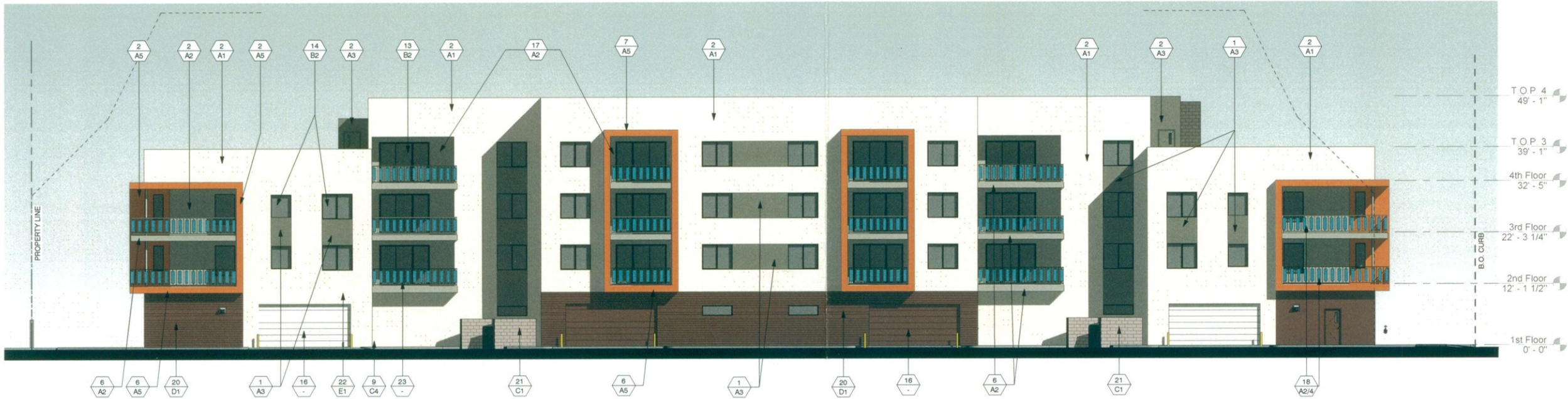
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Exterior Elevations

SHEET NUMBER:

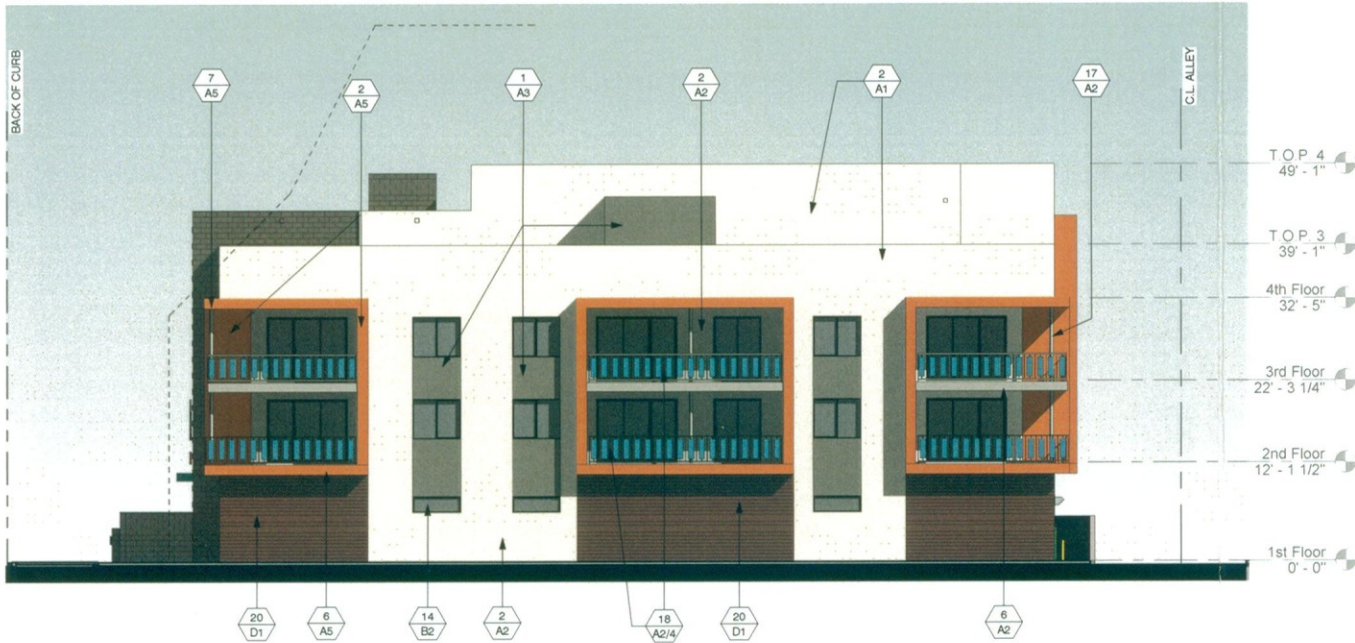
A3.1

ReZone - Design
Review

2-ZN-2019
2/14/19



1 North Elevation
3/32" = 1'-0"



2 East Elevation
3/32" = 1'-0"

MATERIAL / COLOR SCHEDULE

MATERIAL
COLOR

MATERIALS / KEY NOTES

1. STUCCO OVER PAPER BACKED METAL LATH ON EXT. GRADE PLYWOOD SHEATHING
2. STUCCO OVER METAL LATH AND 1" FOAM ON EXT. GRADE PLYWOOD SHEATHING
3. STUCCO OVER METAL LATH AND 1" FOAM OVER CMU
4. STUCCO CONTROL JOINT
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6. BALCONY FACIA WITH METAL T-BAR AND STUCCO FINISH
7. ROOF OVERHANG - STUCCO FRONT FACIA AND UNDERSIDE
8. EXPOSED MASONRY - RUNNING BOND, RAKED JOINTS
9. DECORATIVE FENCE BLOCK PANEL - STACKED BOND, RAKED JOINTS
10. ALUMINUM STOREFRONT - FACTORY FINISH
11. ALUMINUM STOREFRONT / DOORS - SEE SCHEDULE
12. SLIDING ALUMINUM/GLASS PATIO DOORS - FACTORY FINISH - SEE SCHEDULE
13. FIXED/SINGLE SLIDING ALUMINUM WINDOW - FACTORY FINISH - SEE SCHEDULE
14. HOLLOW METAL DOOR AND FRAME - PAINTED - SEE SCHEDULE
15. SECTIONAL GARAGE DOOR - FACTORY FINISH
16. STEEL COLUMN - PAINTED
17. TUBE STEEL RAILING/GUARDRAIL - PAINTED
18. TUBE STEEL VIEW / POOL FENCE - PAINTED
19. HORIZONTAL METAL SIDING
20. CMU REFUSE ENCLOSURE
21. STANDING SEAM METAL ROOF
22. BUILDING SIGNAGE - UNDER SEPARATE PERMIT AND SUBMITTAL
23. BUILDING SIGNAGE - UNDER SEPARATE PERMIT AND SUBMITTAL

COLORS

PAINT: (DUNN EDWARDS DE)		
A1. MAIN FIELD (LIGHT GRAY)	DE8372 - LACE VAIL	- LRV 77
A2. 2ND FIELD (MEDIUM GRAY)	DE8375 - CASTLEROCK	- LRV 43
A3. ACCENT (DARK GRAY)	DE8377 - BOAT ANCHOR	- LRV 14
A4. ACCENT (TEAL)	DET546 - OASIS	- LRV 24
A5. ACCENT (ORANGE)	DES229 - CLAY TERRACE	- LRV 29

ALUMINUM STOREFRONT: (ARCADIA)
B1. AB-7 STANDARD DARK BRONZE ANODIZED

SLIDING GLASS DOORS AND WINDOWS: (MILGARD)
B2. DARK BRONZE ANODIZED

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C1. 8x8x16 INTEGRALLY COLORED SMOOTH FACE - MW GRAY
C2. 8x8x16 INTEGRALLY COLORED SMOOTH FACE - BLACK
C3. 4X12X12 ELDORADO (#7) - MW GRAY
C4. 8x8x16 MESASTONE, TEXTURED - RUTHERFORD

WOOD GRAIN METAL SIDING: (RMP ROLLFAB)
D1. ALUMABOARD HAZELNUT BROWN 6" V-GROOVE

METAL ROOF PANELS (MORIN OR EQ.)
E1. CUSTOM COLOR TO MATCH PAINT A5

GENERAL NOTES

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K. Sigurdson

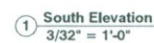
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Exterior Elevations

SHEET NUMBER:

A3.2

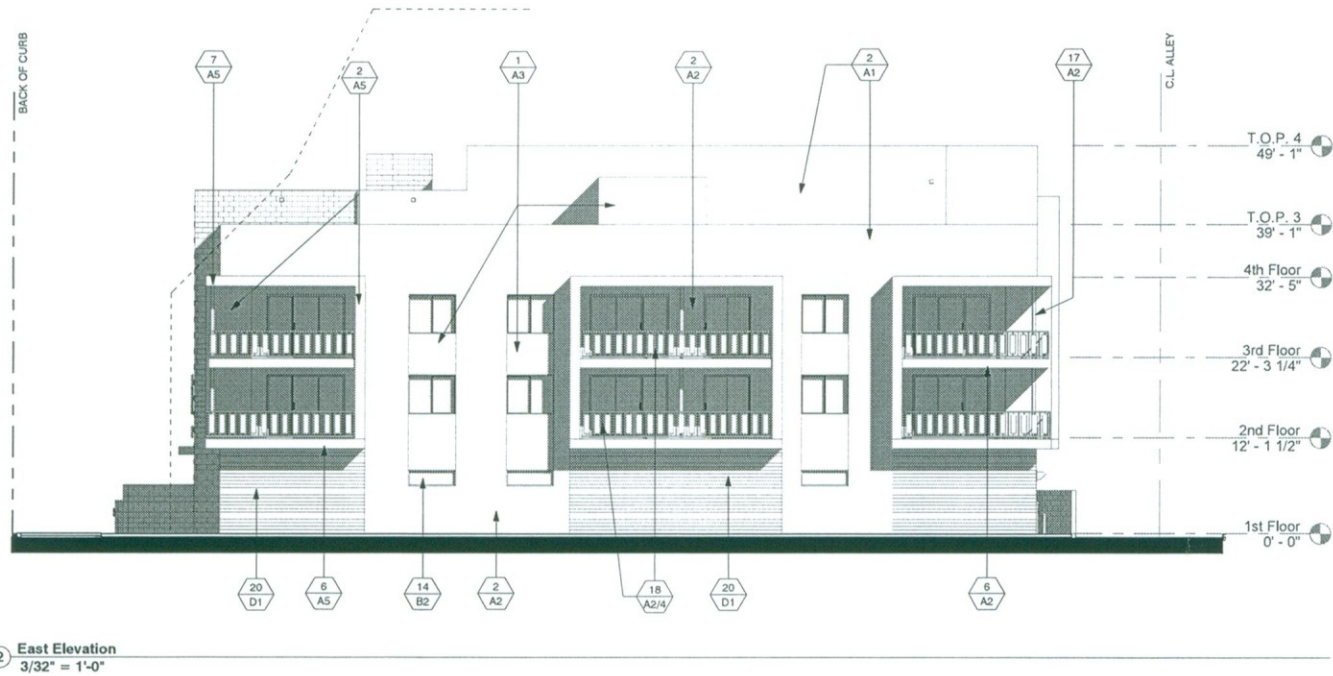
ReZone - Design
Review

2-ZN-2019
2/14/19



MATERIAL ———→ X
COLOR ———→ X

2-ZN-2019
2/14/19



MATERIAL / COLOR SCHEDULE

MATERIAL
COLOR

MATERIALS / KEY NOTES

1. STUCCO OVER PAPER BACKED METAL LATH ON EXT. GRADE PLYWOOD SHEATHING
2. STUCCO OVER METAL LATH AND 1" FOAM ON EXT. GRADE PLYWOOD SHEATHING
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- 22.
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JOB NUMBER: 1909

DRAWN BY: KS

CHECKED BY: KS

ISSUE DATE: 01/31/2019



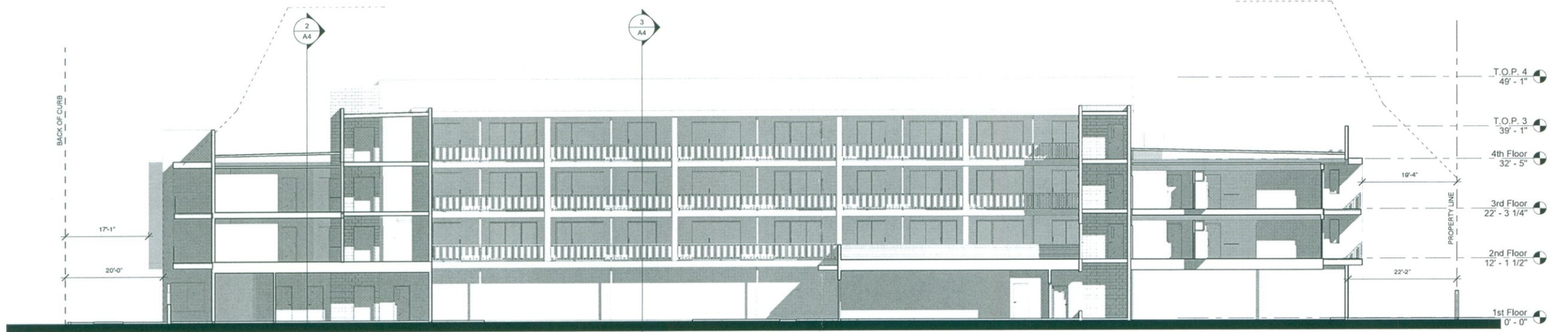
SHEET TITLE:
Exterior Elevations

SHEET NUMBER:

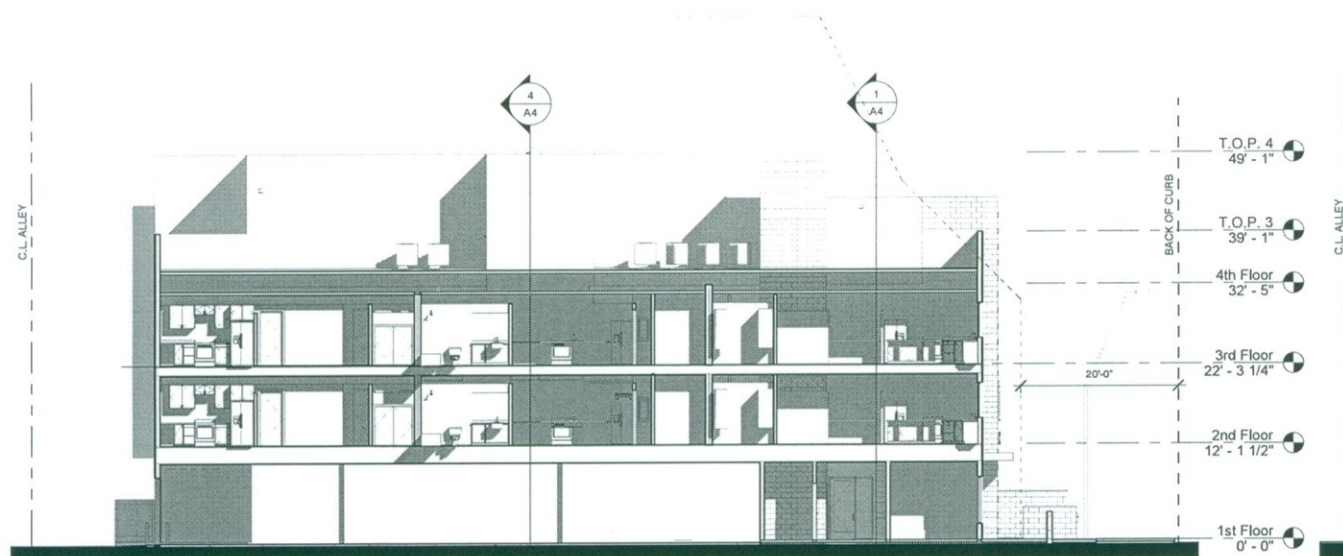
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ReZone - Design
Review

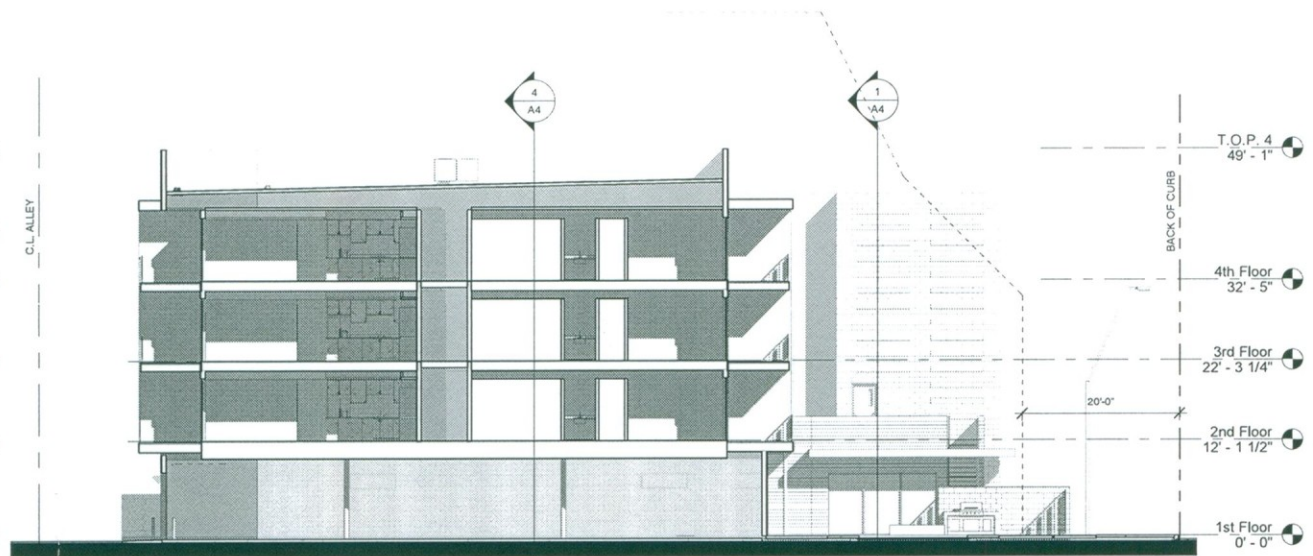
2-ZN-2019
2/14/19



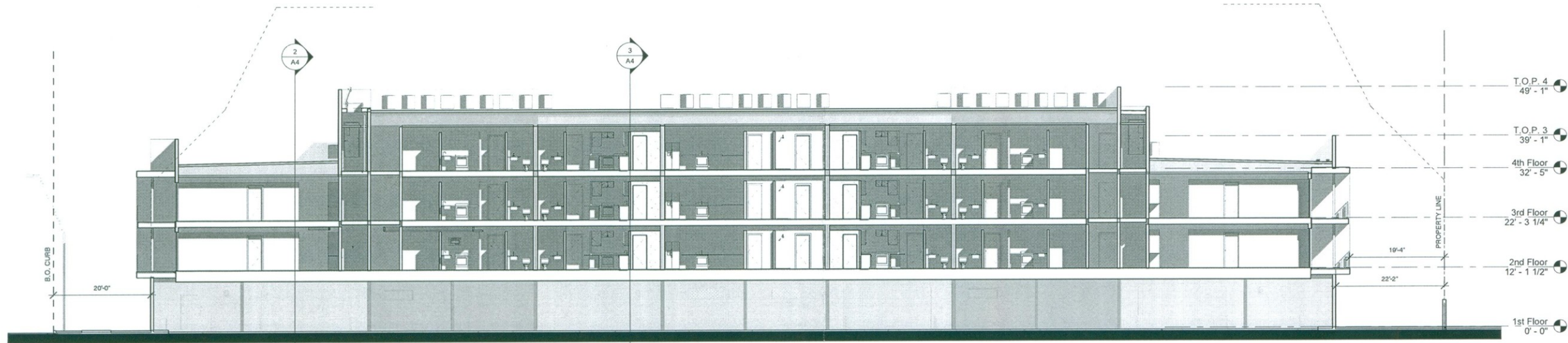
1 Section E-W Front
3/32" = 1'-0"



2 Section N-S West End
3/32" = 1'-0"



3 Section N-S Center
3/32" = 1'-0"



4 Section E-W Center
3/32" = 1'-0"

K & I HOMES, LLC

6125 E INDIAN SCHOOL RD
SUITE 2005
SCOTTSDALE, AZ 85251
PH: 602-505-2525



Clayton

75 on 2nd
7502 East 2nd Street
Scottsdale, AZ

Revisions

#	Description	Date
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#	Description	Date

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JOB NUMBER: 1509

DRAWN BY: Author

CHECKED BY: Checker

ISSUE DATE: 01/31/2019



SHEET TITLE:
Building Sections - Overall

SHEET NUMBER:

A4

ReZone - Design Review

2-ZN-2019
2/14/19



PERSPECTIVE VIEW FROM SOUTHWEST



2-ZN-2019
2/14/19

PERSPECTIVE VIEW FROM SOUTHEAST

K & I HOMES, LLC

6125 E INDIAN SCHOOL RD
SUITE 2005
SCOTTSDALE, AZ 85261
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75 on 2nd

7502 East 2nd Street
Scottsdale, AZ

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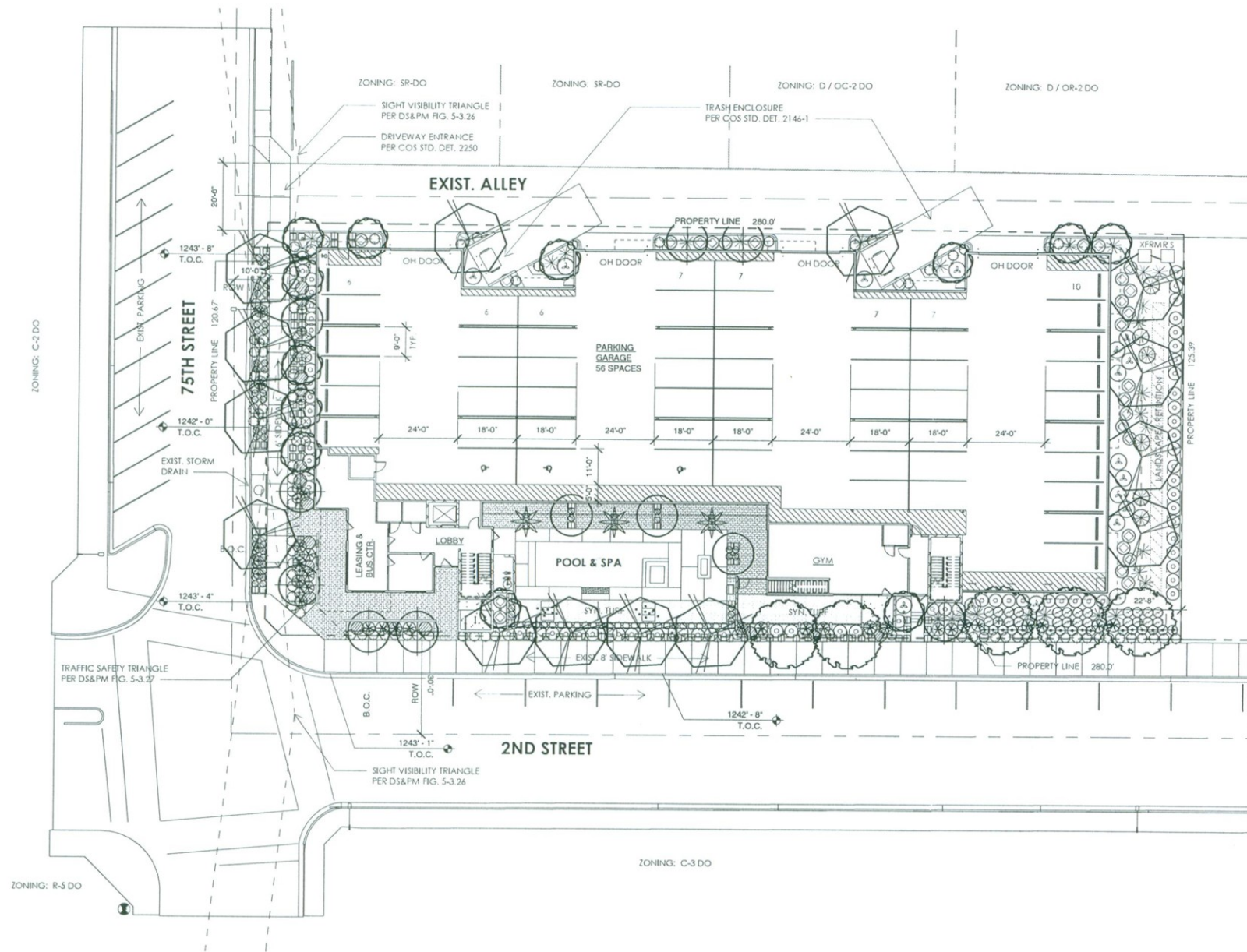
JOB NUMBER: 1809
DRAWN BY: KS
CHECKED BY: KS
ISSUE DATE: 01/31/2019

SHEET TITLE:
Renderings

SHEET NUMBER:

A5

ReZone - Design Review



CONCEPTUAL LANDSCAPE PLAN



LANDSCAPE NOTES

1. DECOMPOSED GRANITE OR SIMILAR MATERIAL AROUND THE MATURE FORM OF A SPECIMEN PLANT, TREE CANOPY, OR GROUPS OF PLANTS, SHALL NOT EXCEED SEVEN (7) FEET IN ANY DIRECTION, PER ZONING ORDINANCE SECTION 10.501.A.
2. ALL TREES SHALL BE FIFTEEN (15) GALLON MINIMUM SIZE, AND A LEAST FIFTY (50) PERCENT SHALL BE MATURE TREES WITH A MINIMUM 2" CALIPER.
3. THIS PROJECT CONTAINS NO NEW PARKING / LANDSCAPE AREAS & REQUIREMENTS.
4. ALL PLANT MATERIALS SHALL BE FROM THE ARIZONA DEPARTMENT OF WATER RESOURCES' (ADWR) PHOENIX ACTIVE MANAGEMENT AREA PLANT LIST & IS EXEMPT FROM THE CITY OF SCOTTSDALE'S ENVIRONMENTALLY SENSITIVE LANDS ORDINANCE (ESLO) PLANT LIST.
5. THIS PROJECT DOES NOT CONTAIN ANY NATURAL AREA OPEN SPACE (NAOS).
6. NO NATIVE PLANT INVENTORY & SALVAGE REQUIRED FOR THIS LOCATION.
7. THORNY SHRUBS AND CACTI SHALL BE PLANTED SO THAT THEIR MATURE SIZE/CANOPY WILL BE AT LEAST 4 FEET AWAY FROM ANY WALKWAYS OR PARKING AREA CURBING, PER DSPM SEC. 2-1.1001.13.
8. ALL SIDEWALKS TO BE A MIN. 6'-0" CLEAR.
9. ALL FIRELANE SURFACES SHALL SUPPORT 83,000 LBS GROSS VEHICULAR WEIGHT PER DS & PM 2-1.802(3)
10. ALL LANDSCAPE AREAS SHALL BE IRRIGATED BY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
11. REFER TO CIVIL FOR ALL GRADING, DRAINAGE, RETENTION AREAS, SETBACKS, EASEMENTS & P.U.E. LOCATIONS

PLANT LEGEND

BOTANICAL NAME	COMMON NAME	CAL. SIZE	BOX SIZE	QTY	COMMENTS
TREE					
BAUHINIA LUNARIOIDES	ANACACHO ORCHID TREE	1.25"		4	8'x6'
CAESALPINIA MEXICANA	MEXICAN BIRD OF PARADISE	1.5"		9	15'x15'
QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	2.5"		15	40'x50'
SOPHORA SECUNDIFLORA	TEXAS MOUNTAIN LAUREL	2"		13	15'x15'
ULMUS PARVIFOLIA 'EMERALD II'	EVERGREEN ELM 'EMERALD'	1.5"		6	30'x30'
SHRUB					
MUHLENBERGIA x 'PINK'	PINK FLAMINGO MUHLY		5 Gal.	27	4'1 x 18'w
PALM					
ALOE HERCULES	TREE ALOE 'HERCULES'		15 Gal.	4	
X BUTIAGRUS NABONNANDII	MULE PALM	12' T.F.		4	Contact - Pacific Palms Nursery
SHRUBS					
CAESALPINIA PULCHERRIMA	RED BIRD OF PARADISE		5 Gal.	18	
CALLIANDRA HYBRID 'SIERRA STARR'	SIERRA STARR CALLIANDRA		5 Gal.	31	
EREMOPHILA HYGROPHANA	BLUE BELLS		5 Gal.	13	
EUPHORBIA RIGIDA	GOHPER PLANT		5 Gal.	37	
HESPERALOE PARVIFLORA	RED YUCCA		5 Gal.	30	
TECOMA STANS HYBRID 'SPARKY'	YELLOW BELLS 'SPARKY'		5 Gal.	69	
ACCENT					
AGAVE DESMETIANA	SMOOTH AGAVE		5 Gal.	29	
ALOE 'BLUE ELF'	BLUE ELF ALOE		5 Gal.	56	
ALOE BARBARENSIS	MEDICINAL ALOE		5 Gal.	25	
DASYLIRION WHEELERI	DESERT SPOON		5 Gal.	7	
PEDILANTHUS MACROCARPA	LADY'S SLIPPER		5 Gal.	17	
GROUND COVER					
PORTULACARIA AFRA	ELEPHANT'S FOOT		3 Gal.	96	
SPHAGNETICOLA TRILOBATA	YELLOW DOT		1 Gal.	90	
GROUND PLANE TREATMENT					
LANDSCAPE AREA	3/4" MINUS DECOMPOSED GRANITE, 'MADISON GOLD'				+/- 6,725 S.F.
PER CIVIL PLANS	3"-8" RIP RAP, 'MADISON GOLD' 2" AROUND ALL CATCH BASIN LOCATIONS (NATURAL PLACEMENT)				PER CIVIL PLANS
	SYNTHETIC TURF - ACT GLOBAL 'NATURAL 48', INSTALL OVER 4" 1/4" MINUS DECOMPOSED GRANITE				+/- 775 S.F.

LANDSCAPE CALCULATIONS

LANDSCAPE OPEN SPACE	+/- 2,470 s.f.
PARKING LANDSCAPE	NA
FRONTAGE LANDSCAPE	+/- 624 s.f.

VICINITY MAP



THIS SITE

K & I HOMES, LLC

6125 E INDIAN SCHOOL RD
SUITE 2005
SCOTTSDALE, AZ 85251
PH: 602-505-2825



Clayton

PIXELstudios
TAKING DESIGN TO A WHOLE NEW LEVEL

75 on 2nd
7502 East 2nd Street
Scottsdale, AZ

Revisions

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JOB NUMBER: 19-004
DRAWN BY: DSS
CHECKED BY: DSS
ISSUE DATE: 01/30/19



SHEET TITLE:
Landscape Plan

SHEET NUMBER:

L-1

ReZone - Design
Review

2-ZN-2019
2/14/19



1 3D View - from SW
12" = 1'-0"



2 3D View - from NW
12" = 1'-0"

SHEET INDEX

- A0.1 Cover sheet
- A0.2 Context Aerial

- Survey:**
- AS1 ALTA SURVEY
 - AS2 ALTA SURVEY

- Civil:**
- C1 Conceptual Cover Sheet
 - C2 Conceptual Grading and Drainage Plan
 - C3 Conceptual Utility Plan

- Landscape:**
- L1 Preliminary Landscape Plan
 - L2 Preliminary Landscape Plan - Lighting

- Architectural:**
- A1.1 Site Plan
 - A1.2 Site Plan - Worksheet
 - A2.1 1st / Ground Floor Plan
 - A2.2 2nd Floor Plan
 - A2.3 3rd Floor Plan
 - A2.4 4th Floor Plan
 - A2.5 Roof Plan
 - A3.1 Exterior Elevations
 - A3.2 Exterior Elevations
 - A3.3 Exterior Elevations - Worksheet
 - A4 Building Sections
 - A5 Renderings
- E0.1-4 Photometrics and Light Fixture Cut Sheets

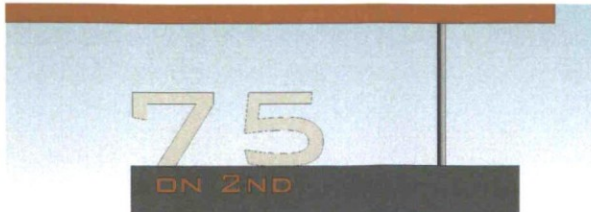
2-ZN-2019
05/10/2019

APPLICANT / ARCHITECT

Company K&I HOMES, LLC
Address 6125 E Indian School Rd #2005
SCOTTSDALE, AZ 85251
Phone Number 602-505-2525
Contact KRISTJAN SIGURDSSON

OWNER / DEVELOPER

Company CLAYTON 12TH STREET, LLC
Address 7340 E MAIN ST. #200
SCOTTSDALE, AZ 85251
Phone Number 480-941-2260
Contact MAX FRENKEL



K&I HOMES, LLC

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JOB NUMBER: 1809

DRAWN BY: KS

CHECKED BY: KS

ISSUE DATE: 5/1/2019



SHEET TITLE:
Cover Sheet

SHEET NUMBER:

A0.1

ReZone2 - Design
Review1



1 Site Plan - Aerial Overlay
1" = 80'-0"

SCALE: 0' - 1" = 80' - 0"
0' 40' - 0" 80' - 0" 160' - 0"



K & I HOMES, LLC



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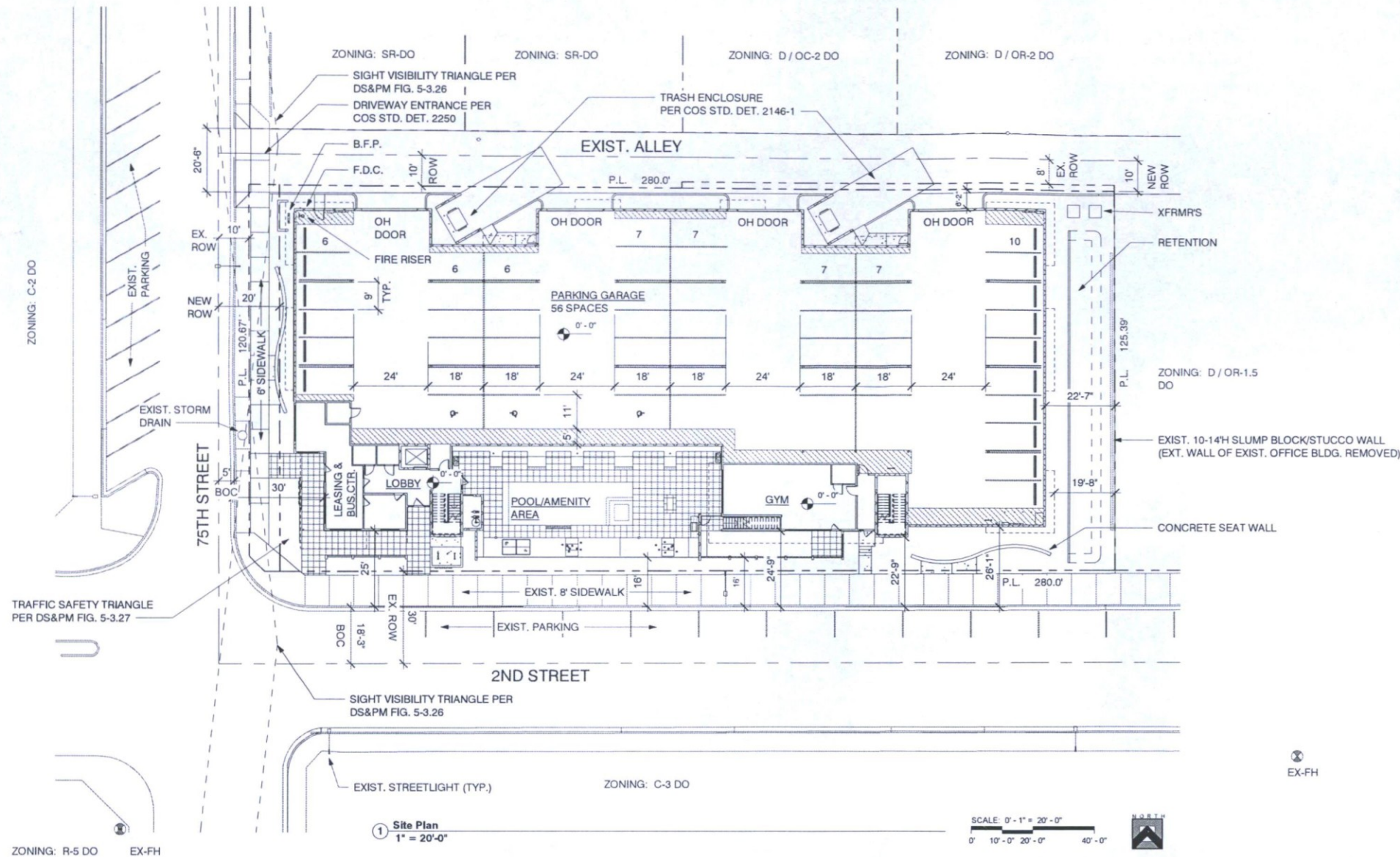


SHEET TITLE:
Context Aerial

SHEET NUMBER:

A0.2

ReZone2 - Design
Review1

**PROJECT INFO****PROJECT NAME:** 75 on 2nd**SITE ADDRESS:** 7502 E. 2ND STREET**PROPOSED USE / SCOPE:** 3 & 4 STORY BOUTIQUE APARTMENT BUILDING WITH 39 UNITS**PARCEL #'S:** LOTS 10-13 130-25-028B / 130-25-029A / 130-25-030A / 130-25-031A

PARCEL SIZE	NET SITE AREA +/-	GROSS SITE AREA +/-
LOTS 10-13	34,980 SF = 0.80 ACRES	47,560 SF = 1.09 ACRES

CURRENT ZONING:	LOTS 10-11	LOTS 12-13
	D / OR-2 DO	S-R DO

PROPOSED ZONING: DMU-2 DO**DWELLING UNIT DENSITY:** 39 DU/1.09 AC = 36 50 MAX. ALLOWED**BUILDING HEIGHT:** 4 STORIES / 50' 66' MAX. ALLOWED**LOT COVERAGE (NET SITE AREA):** 20,002 SF/34,980 SF = 62.9 %**CONSTRUCTION TYPE:** V-A FULLY SPRINKLERED

FLOOR	OCCUPANCY	DESCRIPTION	ACTUAL FLOOR AREA
GROUND FLOOR	R-2 / B / S-2	MIXED-USE	20,002 SF
2ND FLOOR	R-2	APARTMENTS	18,945 SF
3RD FLOOR	R-2	APARTMENTS	18,945 SF
4TH FLOOR	R-2	APARTMENTS	10,873 SF
TOTAL			70,765 SF

FLOOR AREA RATIO: 51,429 / 34,980 = 1.47

GFAR: 2,666 / 47,560 = 0.06 1.3 MAX. ALLOWED

FIRE SPRINKLERS: YES FULL NFPA 13 & 13R**OCCUPANCY GROUP:**

PARKING GARAGE	S-2
LEASING & GYM	B
APARTMENTS	R-2

UNIT MIX: 23 - 1 BED / 1.5 BATH & 16 - 2 BED / 2.5 BATH = 39 UNITS TOTAL**OPEN SPACE REQUIRED:** NONE

OPEN SPACE PROVIDED:		
FRONT OPEN SPACE	+/-	4,600 SF
AMENITY OPEN SPACE		4,450 SF
OTHER OPEN SPACE		2,250 SF
TOTAL OPEN SPACE	+/-	11,300 SF

PRIVATE OPEN SPACE REQUIRED: 6' DEEP AND 60 SF MINIMUM EA. UNIT**PRIVATE OPEN SPACE PROVIDED:** 8' DEEP TYPICAL UNIT
AREA RANGE 95 SF - 296 SF / AVE. AREA 189 SF

PARKING REQUIRED FOR RESIDENTIAL USE (9'-0" X 18' MIN. SIZE PARKING SPACE):			
1 BEDROOM UNITS	1.0 SP / UNIT	= 23 x 1.0	= 23 SPACES
2 BEDROOM UNITS	2.0 SP / UNIT	= 16 x 2.0	= 32 SPACES
TOTAL PARKING REQUIRED			55 SPACES

ACCESSIBLE REQUIRED: 4% OF TOTAL = 3 SPACES

BIKE PARKING REQUIRED: 2 / 10 REQ'D PARKING SPACES = 6

PARKING PROVIDED:	STANDARD	ACCESSIBLE	TOTAL	BIKES
PARKING GARAGE	53	3	56	8

LEGAL DESCRIPTION

Lots 10, 11, 12, and 13, Block 2, of redell manor, according to the plat of record in the office of the County Recorder of Maricopa County, Arizona, recorded in Book 49 of Maps, Page 27

To be combined into a single lot with a new FINAL PLAT

VICINITY MAP**GENERAL SITEPLAN NOTES - CITY OF SCOTTSDALE**

- SIGHT DISTANCE TRIANGLES SHALL BE SHOWN ON FINAL PLANS FOR DRIVEWAYS FROM COMMERCIAL SITES AND ANY INTERSECTIONS. AREA WITHIN THE SAFETY TRIANGLE IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 1.5 FEET. TREES WITHIN THE SAFETY SHALL BE SINGLE TRUNK AND HAVE A CANOPY THAT BEGINS AT 8'-0" IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATION.
- TEMPORARY/SECURITY FENCING THAT IS REQUIRED OR IS OPTIONALLY PROVIDED SHALL BE IN ACCORDANCE WITH THE ZONING ORDINANCE AND THE DESIGN STANDARDS AND POLICIES MANUAL.
- THE TEMPORARY/SECURITY FENCE LOCATION SHALL NOT BE MODIFIED OR THE TEMPORARY/SECURITY FENCE SHALL NOT BE REMOVED WITHOUT THE APPROVAL OF THE PLANNING AND DEVELOPMENT SERVICES' DIVISION.
- ALL RIGHT-OF-WAYS ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.
- ALL SIGNS REQUIRE SEPARATE PERMITS AND APPROVALS.
- A MASTER SIGN PROGRAM SHALL BE SUBJECT TO THE APPROVAL OF THE DEVELOPMENT REVIEW BOARD PRIOR TO THE ISSUANCE OF A SIGN PERMIT FOR MULTI-TENANT BUILDINGS.
- NO EXTERIOR VENDING OR DISPLAY SHALL BE ALLOWED.
- FLAGPOLES, IF PROVIDED, SHALL BE ONE PIECE CONICAL TAPERED.
- NO EXTERIOR PUBLIC ADDRESS OR SPEAKER SYSTEM SHALL BE ALLOWED.
- PATIO UMBRELLAS, IF PROVIDED, SHALL BE SOLID COLORS AND SHALL NOT HAVE ANY ADVERTISING IN THE FORM OF SIGNAGE OR LOGOS.
- ALL EXTERIOR MECHANICAL, UTILITY, AND COMMUNICATION EQUIPMENT SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST UNIT BY PARAPET OR SCREEN WALL THAT MATCHES THE ARCHITECTURAL COLOR AND ARCHITECTURAL FINISH OF THE BUILDING. GROUND MOUNTED MECHANICAL, UTILITY, AND COMMUNICATION EQUIPMENT SHALL BE SCREENED BY A SCREEN WALL THAT MATCHES THE ARCHITECTURAL COLOR AND ARCHITECTURAL FINISH OF THE BUILDING, WHICH IS A MINIMUM OF 1'-0" HIGHER THAN THE HIGHEST OF THE TALLEST UNIT. (DETAILS ARE STILL REQUIRED).
- ALL EQUIPMENT, UTILITIES, OR OTHER APPURTENANCES ATTACHED TO THE BUILDING SHALL BE AN INTEGRAL PART OF THE BUILDING DESIGN INTERMS OF FORM, COLOR, AND TEXTURE.
- NO EXTERIOR VISIBLE LADDERS SHALL BE ALLOWED.
- ALL POLE-MOUNTED LIGHTING SHALL BE A MAXIMUM OF 20'-0" IN HEIGHT.
- NO CHAIN LINK FENCING SHALL BE ALLOWED.
- NO TURF AREAS SHALL BE PROVIDED.

GENERAL NOTES - SCOTTSDALE REVISED CODE

- IN ACCORDANC WITH SEC. 47-80 ALL ELECTRIC AND COMMUNICATIONS LINES INSTALLED IN THE RIGHT- OF WAY SHALL BE INSTALLED UNDERGROUND, EXCEPT ELECTRIC LINES EQUAL TO OR GREATER THAN 12.5KVA CAPACITY

K & I HOMES, LLC

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Clayton

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Scottsdale, AZ

Revisions

#	Description	Date
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SHEET TITLE:
Site Plan

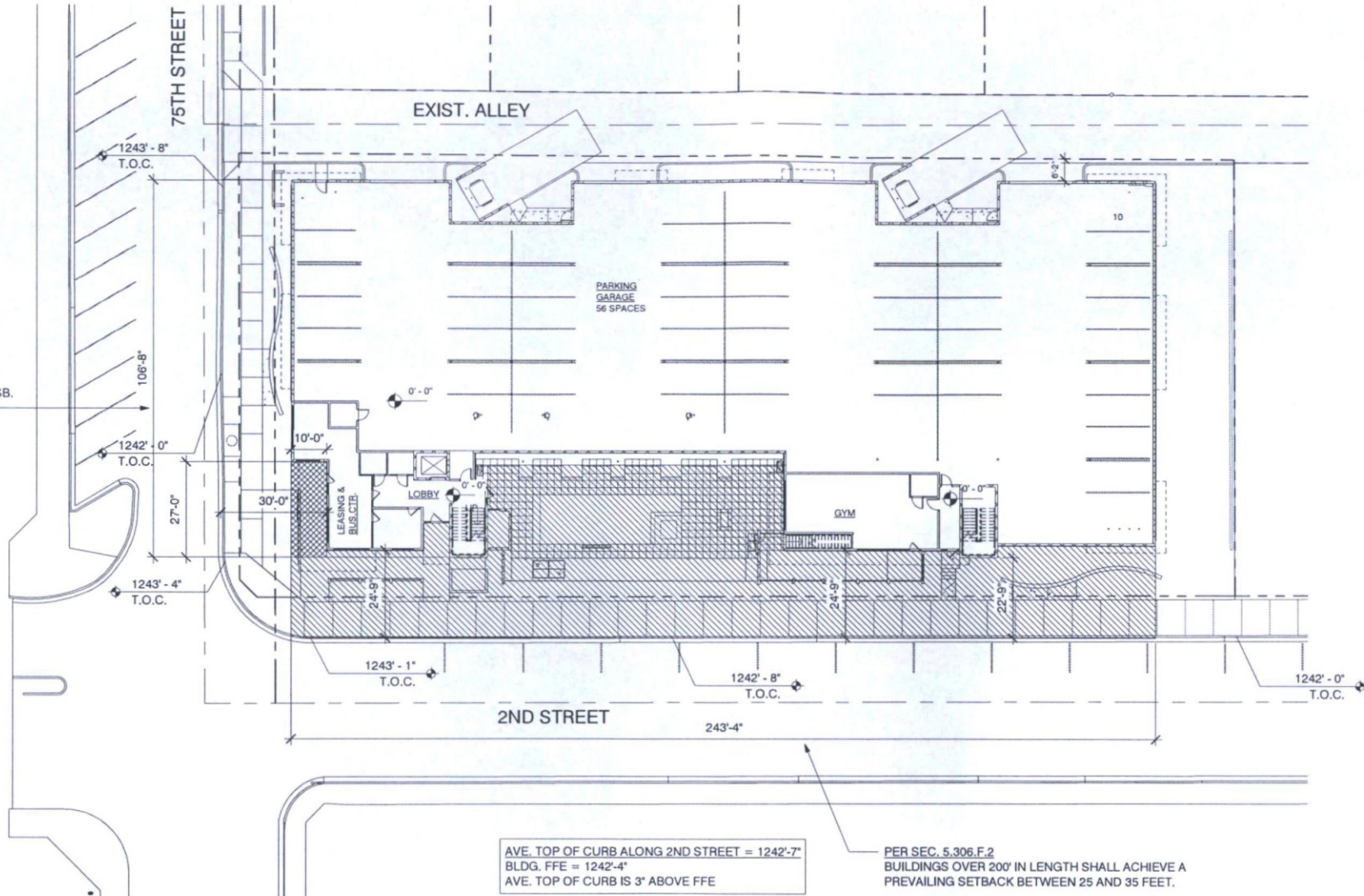
SHEET NUMBER:

A1.1

ReZone2 - Design Review1

AVE. TOP OF CURB ALONG 75TH STREET = 1243'-0"
BLDG. FFE = 1242'-4"
AVE. TOP OF CURB IS 8" ABOVE FFE

PER SEC. 5.306.F.1.B.
i. 74.7 % OF BUILDING LENGTH LOCATED AT MIN. SB.
ii. 25.3 % OF BUILDING FACADE SET BACK 10'



AVE. TOP OF CURB ALONG 2ND STREET = 1242'-7"
BLDG. FFE = 1242'-4"
AVE. TOP OF CURB IS 3" ABOVE FFE

PER SEC. 5.306.F.2
BUILDINGS OVER 200' IN LENGTH SHALL ACHIEVE A
PREVAILING SETBACK BETWEEN 25 AND 35 FEET.
PREVAILING SETBACK = 8,070 SF / 243'-4" = 33.16'

1 Site Plan - Worksheet
1" = 20'-0"

K & I HOMES, LLC

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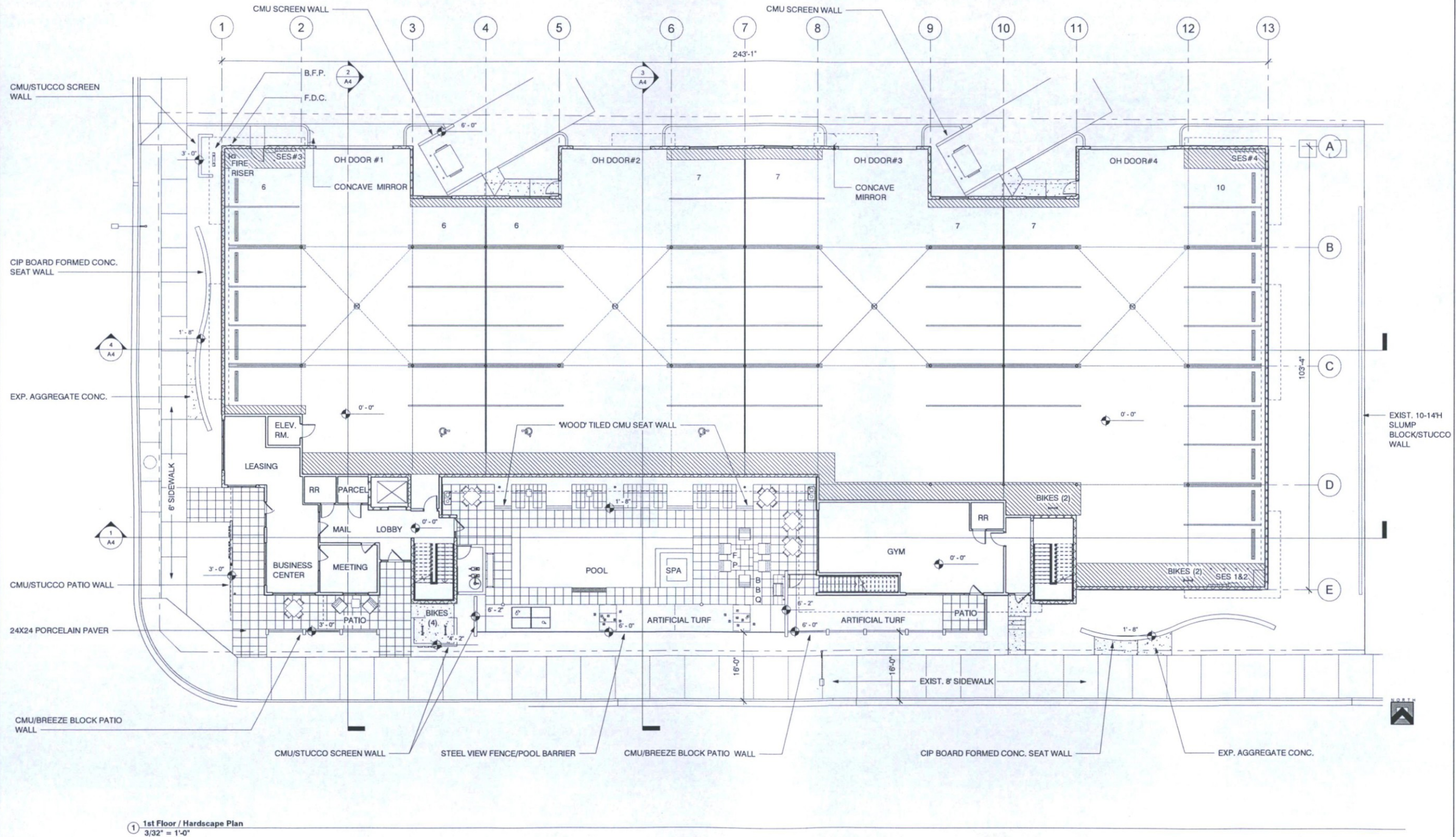
JOB NUMBER: 1809
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CHECKED BY: KS
ISSUE DATE: 5/1/2019



SHEET TITLE:
Site Plan -
Worksheet
SHEET NUMBER:

A1.2

ReZone2 - Design
Review1



1 1st Floor / Hardscape Plan
3/32" = 1'-0"

REFER TO EXTERIOR BUILDING ELEVATIONS SHEETS A3.1 & 3.2
FOR SITE WALL ELEVATIONS MATERIAL AND FINISH

K & I HOMES, LLC

6125 E. INDIAN SCHOOL RD
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Clayton

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JOB NUMBER: 1809

DRAWN BY: KS

CHECKED BY: KS

ISSUE DATE: 5/1/2019



K. Sigurdsson

SHEET TITLE:
1st Floor Plan /
Hardscape Plan

SHEET NUMBER:

A2.1

ReZone2 - Design
Review1



7502 East 2nd Street
Scottsdale, AZ

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JOB NUMBER: 1809

DRAWN BY: KS

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ISSUE DATE: 5/1/2019



K. Sigurdson
PRINTED NAME

SHEET TITLE:
2nd Floor Plan

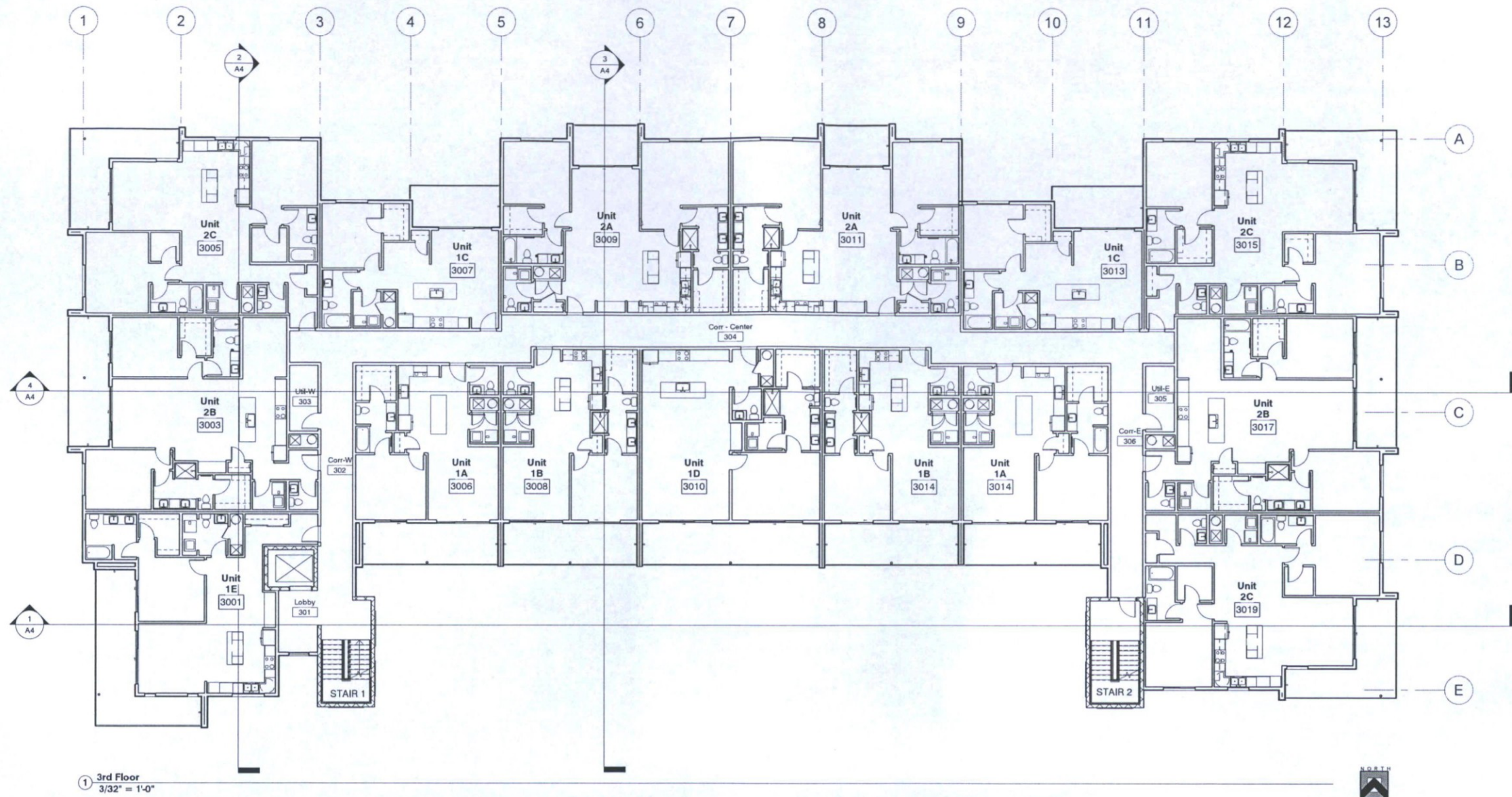
SHEET NUMBER:

A2.2

ReZone2 - Design Review1



1 2nd Floor
3/32" = 1'-0"



① 3rd Floor
3/32" = 1'-0"

75 on 2nd Unit Mix & Areas Rezone / DRB 1/22/2019

Unit	Type	Gross Areas			Net Areas	Number of units per Building			Total Units	Total Gross Areas		Total Net Areas
		Unit	Balcony	Total		2nd Flr	3rd Flr	4th Flr		Units	Balconies	
1A	1Bed	836	207	1,043	778	2	2	2	6	5,016	1,242	4,668
1B		844	207	1,051	789	2	2	2	6	5,064	1,242	4,734
1C		748	134	882	691	2	2	2	6	4,488	804	4,146
1D		1,126	271	1,397	1,063	1	1	1	3	3,378	813	3,189
1E		1,054	296	1,350	977	1	1		2	2,108	592	1,954
2A	2 Bed	1,361	95	1,456	1,280	2	2	2	6	8,166	570	7,680
2B		1,399	190	1,589	1,322	2	2		4	5,596	760	5,288
2C		1,360	222	1,582	1,281	3	3		6	8,160	1,332	7,696
Total						15	15	9	39	41,976	7,355	39,345

Average Unit Size and Ratios

Number of Units	Type	Ave. Unit Gross Area	Ave. Unit Net Area	Ratio	Ave. Balcony Area
23	1 Bed	872	813	59.0%	
16	2 Bed	1,370	1,291	41.0%	
39	Average	876	815	100.0%	189

BUILDING GROSS FLOOR AREAS: SF

Floor	Area
1ST FLOOR	22,002
2ND FLOOR	18,945
3RD FLOOR	18,945
4TH FLOOR	10,873
TOTAL	70,765

Note:

Gross Rentable Areas calculated from outside face (sheathing) of exterior wall

Net Unit Area calculated from inside face of finished walls (Paint to Paint)

Gross Building Areas Measured from outside face of exterior wall sheathing

K & I HOMES, LLC

6125 E. INDIAN SCHOOL RD
SUITE 2005
SCOTTSDALE, AZ 85251
PH: 602-509-2525



Clayton

75 on 2nd
7502 East 2nd Street
Scottsdale, AZ

Revisions

#	Description	Date
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JOB NUMBER: 1809

DRAWN BY: KS

CHECKED BY: KS

ISSUE DATE: 5/1/2019

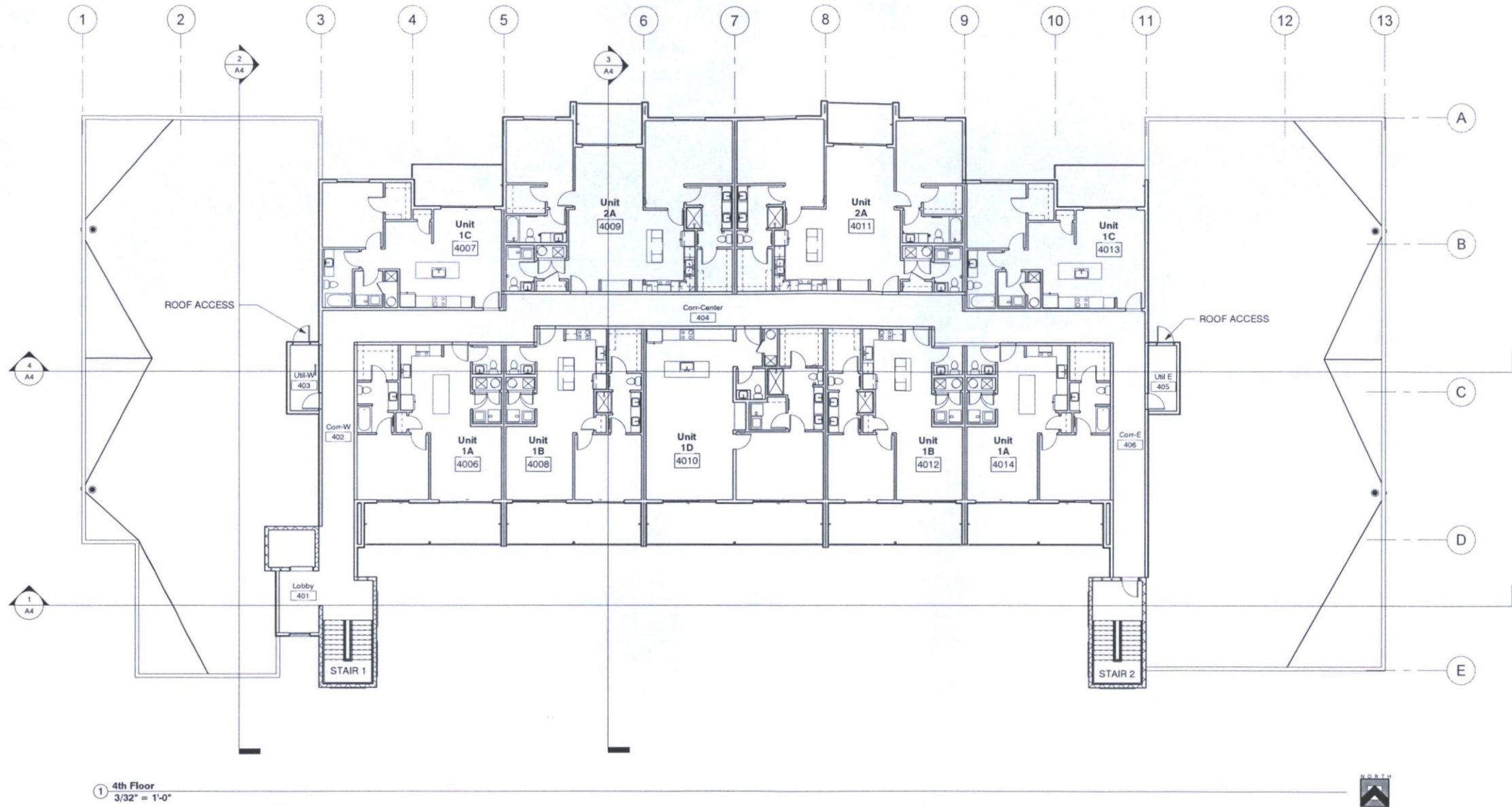


SHEET TITLE:
3rd Floor Plan

SHEET NUMBER:

A2.3

ReZone2 - Design
Review1



① 4th Floor
3/32" = 1'-0"



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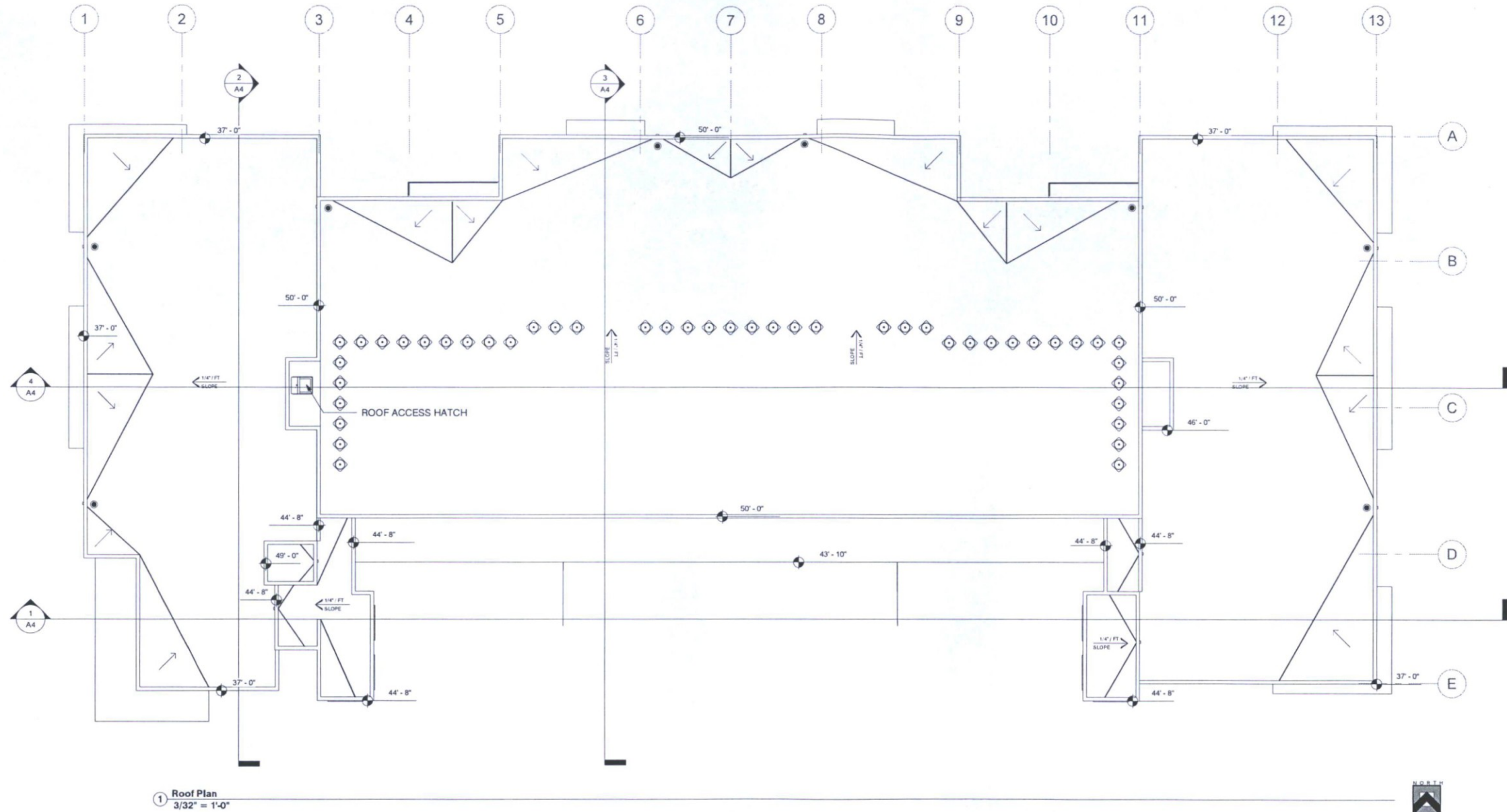
K. Sigurdsson

SHEET TITLE:
4th Floor Plan

SHEET NUMBER:

A2.4

ReZone2 - Design
Review1



1 Roof Plan
3/32" = 1'-0"

- 1/4" / FT SLOPE ROOF SLOPE TO DRAIN 1/4" PER FOOT.
- 1/2" / FT SLOPE ROOF CRICKET SLOPE TO DRAIN
- ROOF DRAIN AND OVERFLOW SCUPPER
- CONDENSING UNITS ON RAISED PLATFORM SCREENED BY BUILDING PARAPET
- 0' - 0" HEIGHT OF ELEMENT A.F.F. (0'-0")

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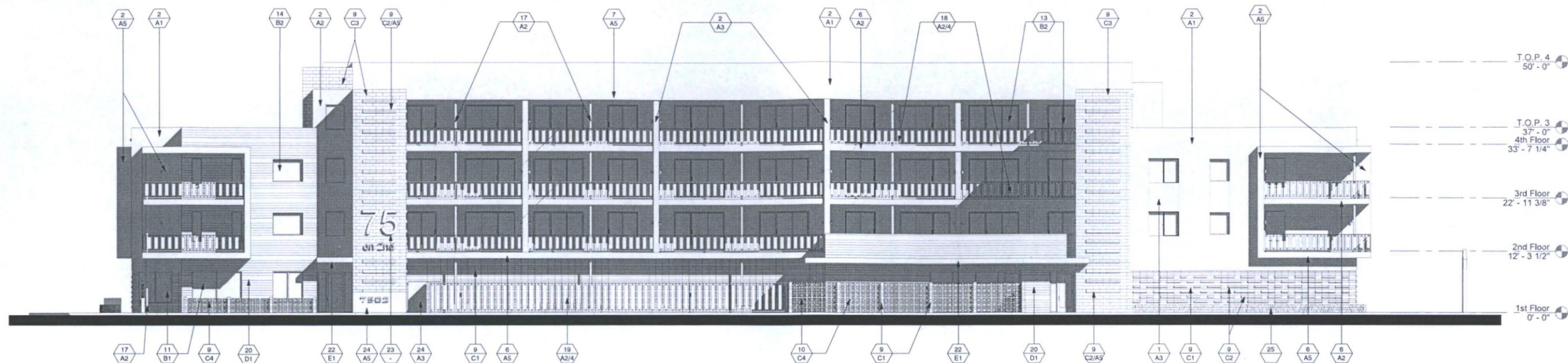


SHEET TITLE:
Roof Plan

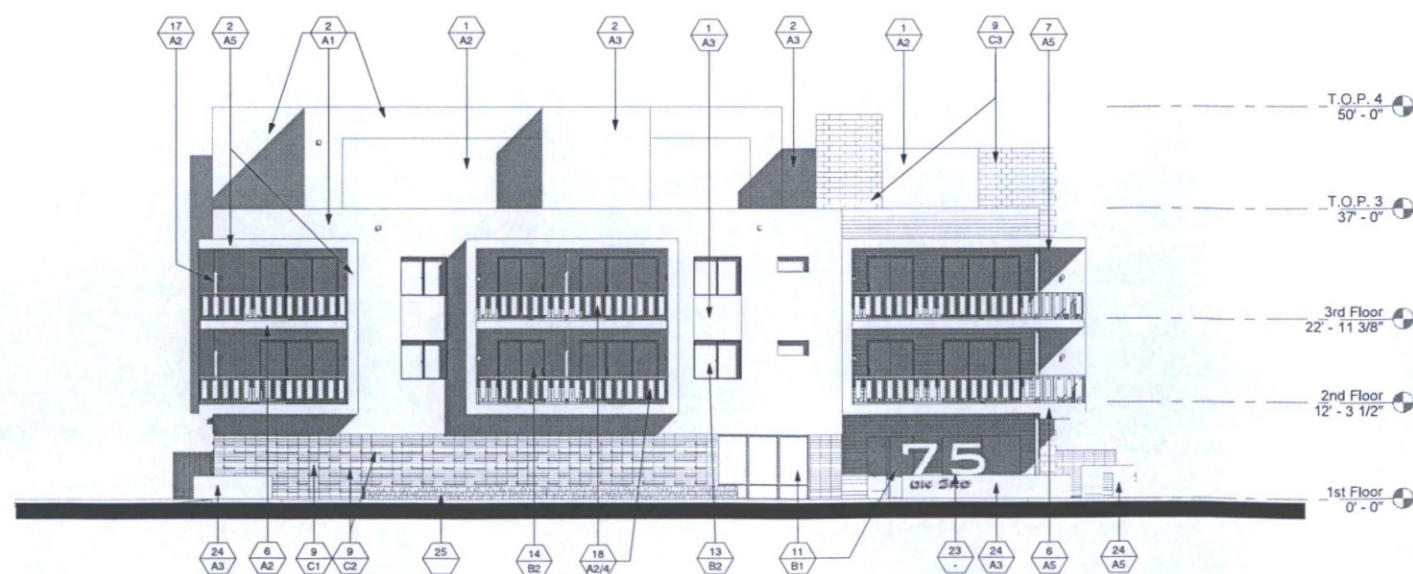
SHEET NUMBER:

A2.5

ReZone2 - Design
Review1



1 South Elevation
1" = 10'-0"



2 West Elevation
3/32" = 1'-0"

MATERIAL / COLOR SCHEDULE

MATERIAL
COLOR

MATERIALS / KEY NOTES

1. STUCCO OVER PAPER BACKED METAL LATH ON EXT. GRADE PLYWOOD SHEATHING
2. STUCCO OVER METAL LATH AND 1" FOAM ON EXT. GRADE PLYWOOD SHEATHING
3. STUCCO OVER METAL LATH AND 1" FOAM OVER CMU
4. STUCCO CONTROL JOINT
6. BALCONY FACIA WITH METAL T-BAR AND STUCCO FINISH
7. ROOF OVERHANG - STUCCO FRONT FACIA AND UNDERSIDE
9. EXPOSED MASONRY - RUNNING BOND, RAKED JOINTS
10. DECORATIVE FENCE BLOCK PANEL - STACKED BOND
11. ALUMINUM STOREFRONT - FACTORY FINISH
12. SLIDING ALUMINUM/ GLASS PATIO DOORS - FACTORY FINISH
13. FIXED/ SINGLE SLIDING ALUMINUM WINDOW - FACTORY FINISH
14. HOLLOW METAL DOOR AND FRAME - PAINTED - SEE SCHEDULE
15. SECTIONAL GARAGE DOOR - FACTORY FINISH
16. STEEL COLUMN - PAINTED
17. TUBE STEEL RAILING/GUARDRAIL - PAINTED
18. TUBE STEEL VIEW / POOL FENCE - PAINTED
20. HORIZONTAL METAL SIDING
21. CMU REFUSE ENCLOSURE
22. STANDING SEAM METAL ROOF
23. BUILDING SIGNAGE - UNDER SEPARATE PERMIT AND SUBMITTAL
24. CMU SITE/SCREEN WALL WITH STUCCO FINISH
25. 12"W CAST IN PLACE BOARD FORMED CONCRETE SEAT/SITE WALL COLOR AND TEXTURE TO MATCH 'CLAYTON HOUSE'

GENERAL NOTES

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COLORS

PAINT: (DUNN EDWARDS 'DE')

A1. MAIN FIELD (LIGHT)	DW314 - DESERT STAR	- LRV 81
A2. 2ND FIELD (MEDIUM)	DET625 - RECLAIMED WOOD	- LRV 47
A3. ACCENT (DARK)	DET626 - METAL FRINGE	- LRV 21
A4. ACCENT (TEAL)	DET546 - OASIS	- LRV 24
A5. ACCENT (ORANGE)	DE5229 - CLAY TERRACE	- LRV 29

ALUMINUM STOREFRONT: (ARCADIA)

B1. AB-7 'STANDARD DARK BRONZE' ANODIZED

SLIDING GLASS DOORS AND WINDOWS: (MILGARD)

B2. DARK BRONZE ANODIZED

MASONRY (SUPERLITE BLOCK)

C1. 4x8x16	INTEGRAL COLOR SMOOTH FACE	- MW GRAY
C2. 4X10X16	INTEGRAL COLOR SMOOTH FACE	- MW GRAY
	2" OFFSET CORE SHADOW BLOCK	
C3. 8x8x16	INTEGRAL COLOR SMOOTH FACE	- CHARCOAL
MASONRY (ORCO BLOCK)		
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WOOD GRAIN METAL SIDING: (RMP ROLLFAB)

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METAL ROOF PANELS (MORIN OR EQ.)

E1. CUSTOM COLOR TO MATCH PAINT A5

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JOB NUMBER: 1809

DRAWN BY: Author

CHECKED BY: Checker

ISSUE DATE: 5/1/2019

33407 KIBELAN SIGURDSSON

REGISTERED ARCHITECT

STATE OF ARIZONA

5/1/2019

K. Sigurdson

SHEET TITLE:

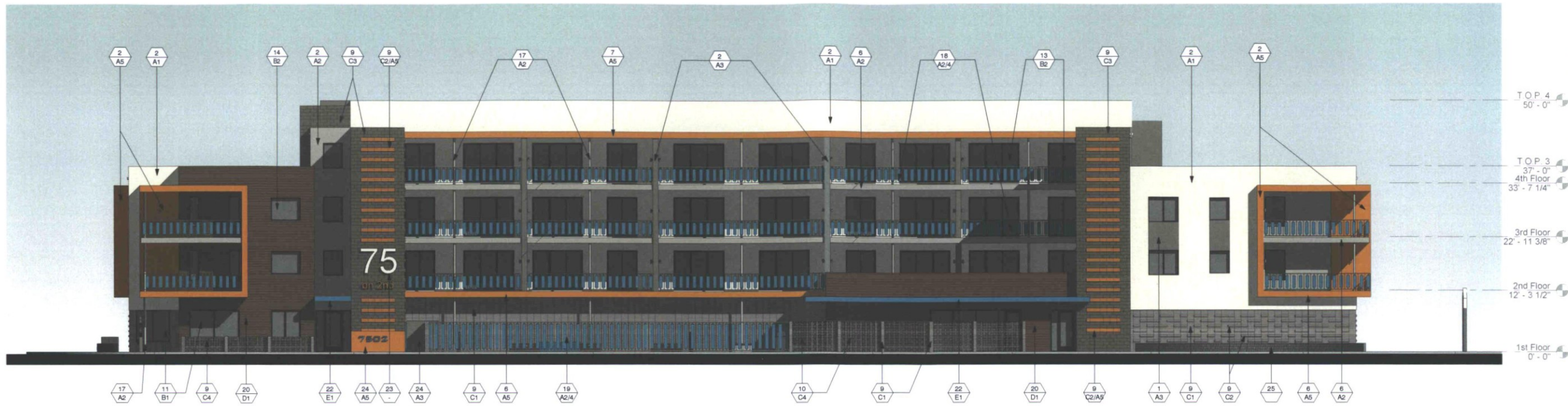
Exterior Elevations

SHEET NUMBER:

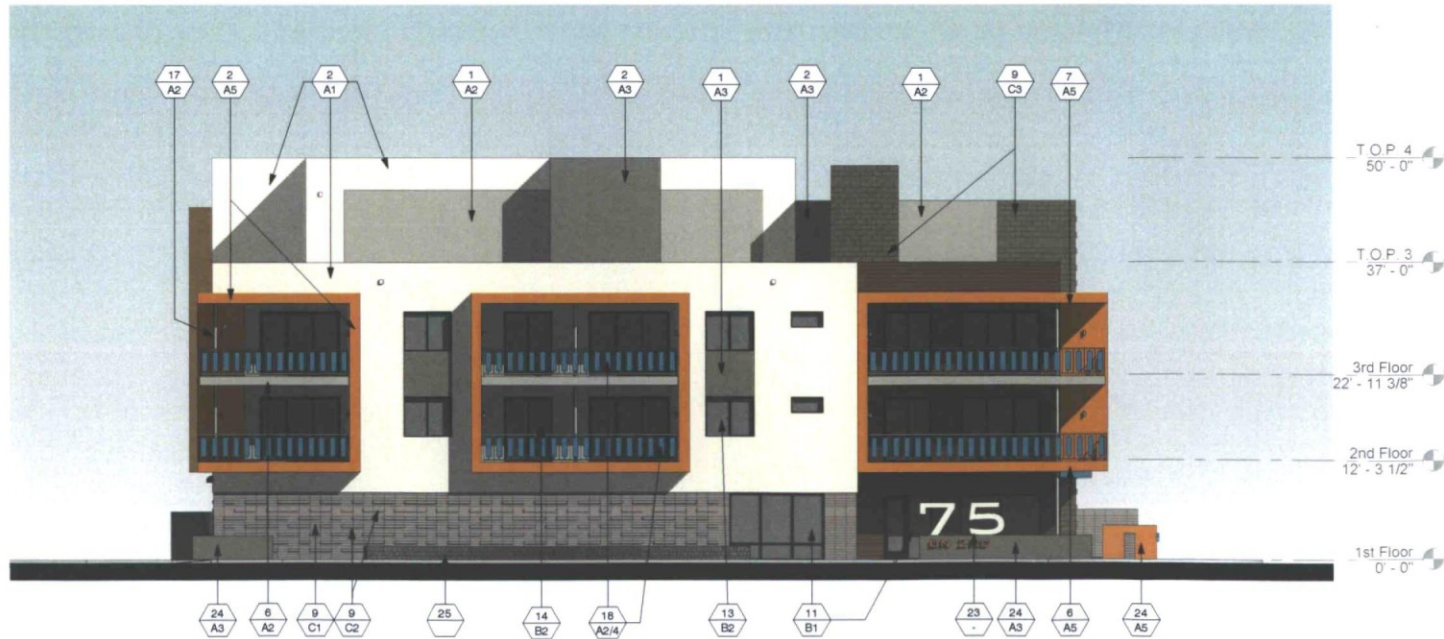
A3.1

ReZone2 - Design

Review1



1 South Elevation
1" = 10'-0"



2 West Elevation
3/32" = 1'-0"

MATERIAL / COLOR SCHEDULE

MATERIAL
COLOR

MATERIALS / KEY NOTES

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10. ALUMINUM STOREFRONT / DOORS - SEE SCHEDULE
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23. 12"W CAST IN PLACE BOARD FORMED CONCRETE SEAT/SITE WALL
24. COLOR AND TEXTURE TO MATCH 'CLAYTON HOUSE'
- 25.

GENERAL NOTES

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COLORS

PAINT: (DUNN EDWARDS 'DE')

- | | | |
|------------------------|-------------------------|----------|
| A1. MAIN FIELD (LIGHT) | DW314 - DESERT STAR | - LRV 81 |
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| A3. ACCENT (DARK) | DET626 - METAL FRINGE | - LRV 21 |
| A4. ACCENT (TEAL) | DET546 - OASIS | - LRV 24 |
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ALUMINUM STOREFRONT: (ARCADIA)

- B1. AB-7 'STANDARD DARK BRONZE' ANODIZED

SLIDING GLASS DOORS AND WINDOWS: (MILGARD)

- B2. DARK BRONZE ANODIZED

MASONRY (SUPERLITE BLOCK)

- | | | |
|-------------|-------------------------------|------------|
| C1. 4x8x16 | INTEGRAL COLOR SMOOTH FACE | - MW GRAY |
| C2. 4X10X16 | INTEGRAL COLOR SMOOTH FACE | - MW GRAY |
| | 2" OFFSET CORE SHADOW BLOCK | |
| C3. 8x8x16 | INTEGRAL COLOR SMOOTH FACE | - CHARCOAL |
| | MASONRY (ORCO BLOCK) | |
| C4. 4X12X12 | SQUARE ON SQUARE BREEZE BLOCK | - MW GRAY |

WOOD GRAIN METAL SIDING: (RMP ROLLFAB)

- D1. ALUMABOARD HAZELNUT BROWN 6" V-GROOVE

METAL ROOF PANELS (MORIN OR EQ.)

- E1. CUSTOM COLOR TO MATCH PAINT A5

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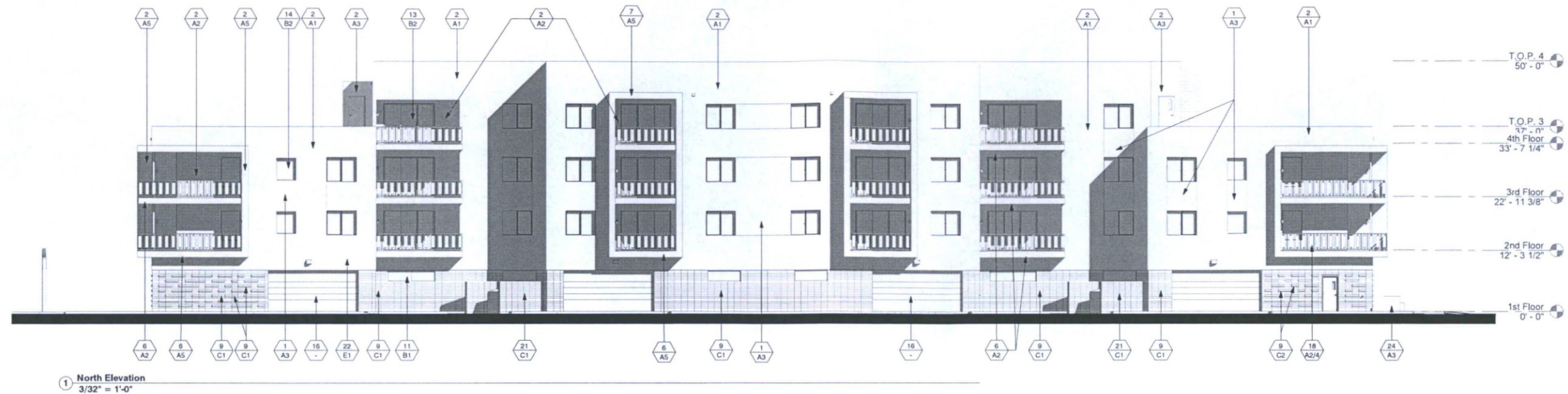
Revisions

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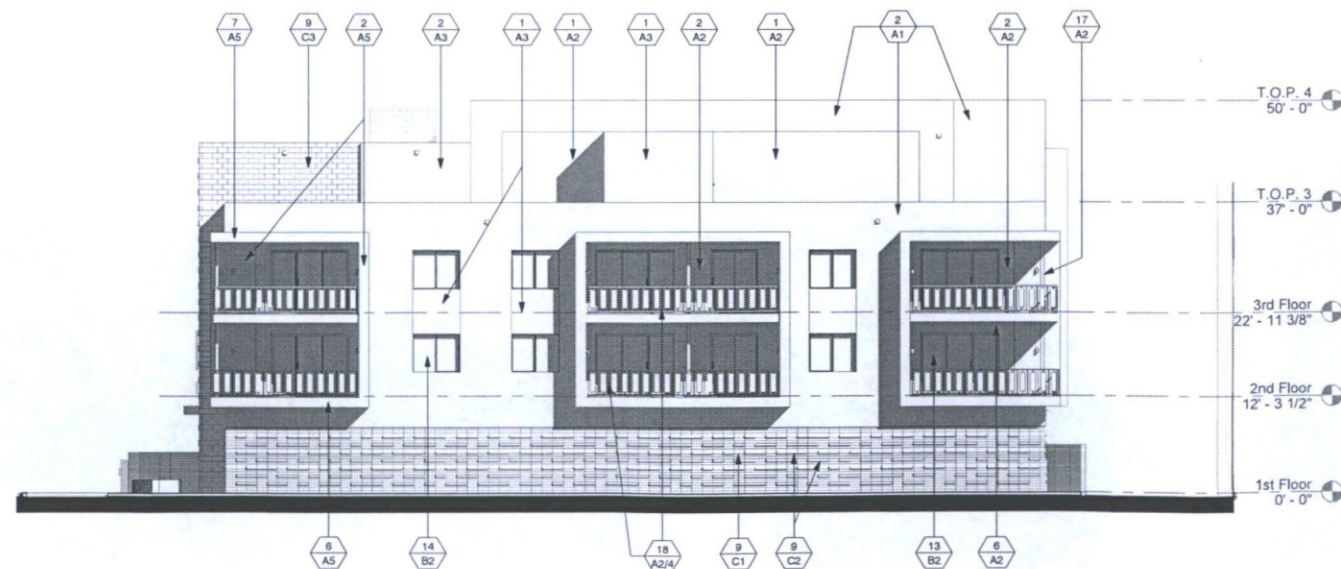


METAL ROOF PANELS (MORIN OR EQ.)
E1. CUSTOM COLOR TO MATCH PAINT A5

ReZone2 - Design Review1



1 North Elevation
3/32" = 1'-0"



2 East Elevation
3/32" = 1'-0"

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MATERIAL
COLOR

MATERIALS / KEY NOTES

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CHECKED BY: KS

ISSUE DATE: 5/1/2019



SHEET TITLE:
Exterior Elevations

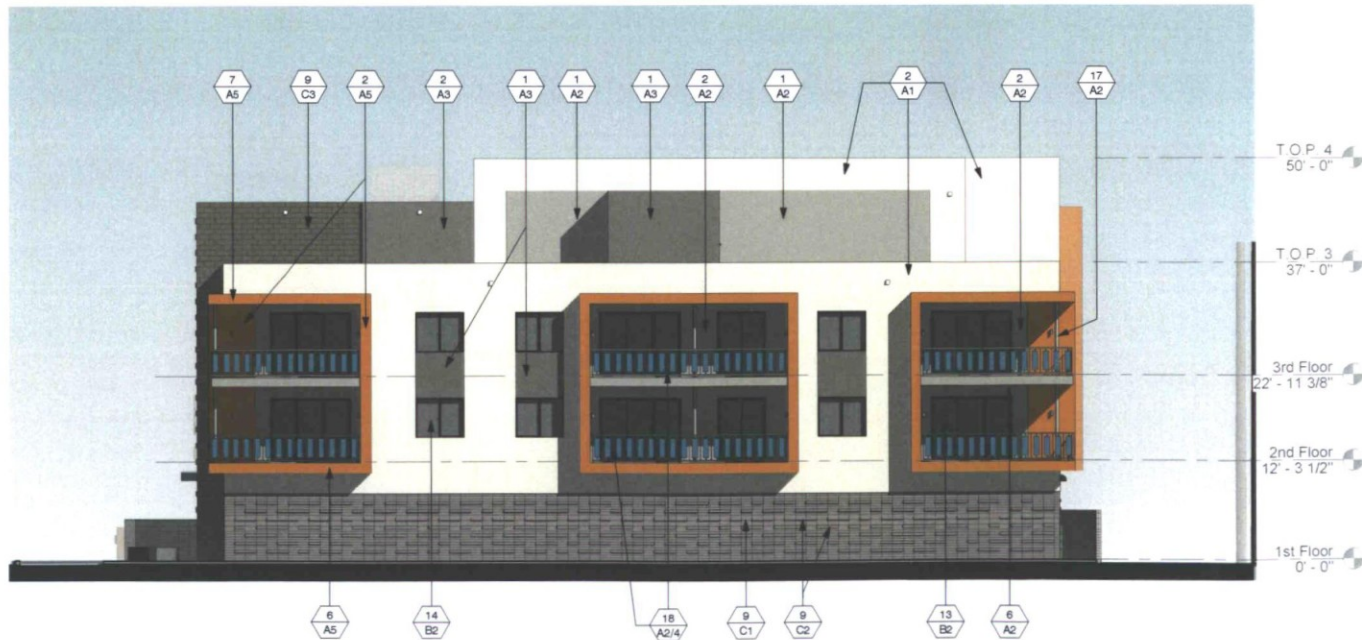
SHEET NUMBER:

A3.2

ReZone2 - Design
Review1



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MATERIAL / COLOR SCHEDULE

MATERIAL
COLOR

MATERIALS / KEY NOTES

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1. STUCCO SYSTEM TO BE 'STO POWERWALL' OVER 1" INSULATION BOARD, WITH 1.0/FINE INTEGRAL COLORED FINISH TO MATCH PAINT COLOR SPECIFIED. SYSTEM TO BE INSTALLED OVER STUCCO GUARD WITH GOLD COAT WATER RESISTIVE BARRIER, PER THE FOLLOWING EVALUATION REPORTS:
ESR-2323 STO POWERWALL STUCCO SYSTEM
ESR-1233 STO GUARD WITH GOLD COAT WATER RESISTIVE BARRIERS - OR APPROVED EQUAL
2. STUCCO CONTROL JOINTS SHOWN AT TYPICAL LOCATIONS ONLY. PROVIDE ADDITIONAL CONTROL JOINTS AS MAY BE REQUIRED AND RECOMMENDED BY STUCCO MANUFACTURER VERIFY LOCATION WITH ARCHITECT.
3. STUCCO CONTROL JOINTS TO BE PROVIDED SO THAT MAX. STUCCO PANEL SIZE IS 144 SF, WITH A WIDTH TO LENGTH RATIO OF 1:2 1/2. TYPICAL JOINT PLACEMENTS INCLUDE:
- HORIZONTALLY AT EACH FLOOR LEVEL
- VERTICALLY FROM CORNER OF SLIDING DOORS, WINDOWS AND BALCONIES
4. ALL CONTROL JOINTS & REVEALS TO TERMINATE ON INSIDE CORNERS ONLY.
5. PROVIDE SEALANT AT ALL STUCCO PENETRATIONS.
6. PAINT ALL EXTERIOR MOUNTED ELECTRICAL AND MECHANICAL PANELS/BOXES TO MATCH ADJACENT SURFACE OF THE BUILDING.
7. PAINT ALL VENTS, FLASHING, MISC. MATERIALS TO MATCH ADJ. BLDG. COLOR U.N.O.
8. ALL PAINT COLOR CHANGES TO TERMINATE ON INSIDE CORNERS ONLY.
9. PROVIDE 2" OR 4" SOLID CMU CAPS AT ALL EXPOSED CMU SITE WALLS
10. ALL EXPOSED DRYER AND EXHAUST VENTS TO BE ALIGNED HORIZONTALLY (AT EACH FLOOR), AND VERTICALLY (FROM FLOOR TO FLOOR) AND PAINTED TO MATCH ADJACENT STUCCO COLOR
11. ALL EXPOSED CMU TO BE STACKED OR RUNNING BOND AS SHOWN, WITH RAKED JOINTS, U.N.O.

COLORS

PAINT: (DUNN EDWARDS 'DE')

A1. MAIN FIELD (LIGHT)	DW314 - DESERT STAR	- LRV 81
A2. 2ND FIELD (MEDIUM)	DET625 - RECLAIMED WOOD	- LRV 47
A3. ACCENT (DARK)	DET626 - METAL FRINGE	- LRV 21
A4. ACCENT (TEAL)	DET546 - OASIS	- LRV 24
A5. ACCENT (ORANGE)	DES229 - CLAY TERRACE	- LRV 29

ALUMINUM STOREFRONT: (ARCADIA)

B1. AB-7 'STANDARD DARK BRONZE' ANODIZED

SLIDING GLASS DOORS AND WINDOWS: (MILGARD)

B2. DARK BRONZE ANODIZED

MASONRY (SUPERLITE BLOCK)

C1. 4x8x16	INTEGRAL COLOR SMOOTH FACE	- MW GRAY
C2. 4X10X16	INTEGRAL COLOR SMOOTH FACE	- MW GRAY
	2" OFFSET CORE SHADOW BLOCK	
C3. 8x8x16	INTEGRAL COLOR SMOOTH FACE	- CHARCOAL
MASONRY (ORCO BLOCK)		
C4. 4X12X12	SQUARE ON SQUARE BREEZE BLOCK	- MW GRAY

WOOD GRAIN METAL SIDING: (RMP ROLLFAB)

D1. ALUMABOARD HAZELNUT BROWN 6" V-GROOVE

METAL ROOF PANELS (MORIN OR EQ.)

E1. CUSTOM COLOR TO MATCH PAINT A5

K & I HOMES, LLC

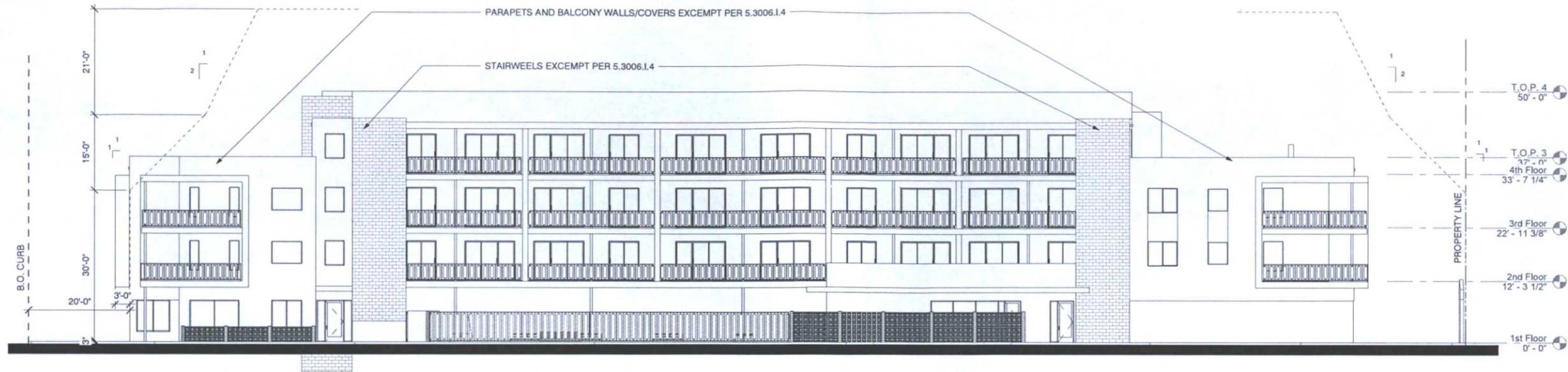


Clayton

75 on 2nd
7502 East 2nd Street
Scottsdale, AZ

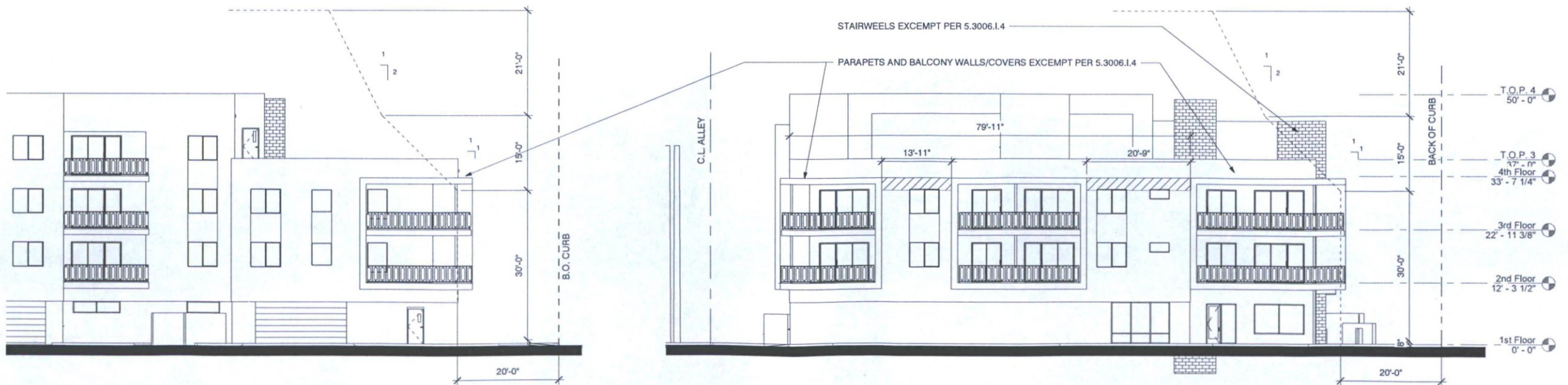
Revisions

#	Description	Date
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③ South Elevation Worksheet
3/32" = 1'-0"

OVERALL AREA OF FACADE = 11,310 SF
AREA OF ENCROUCHMENT = 0 SF



① North Elevation Worksheet
3/32" = 1'-0"

② West Elevation Worksheet
3/32" = 1'-0"

OVERALL AREA OF FACADE = 5,370 SF
AREA OF ENCROUCHMENT = 88 SF = 1.6 %

AVE. TOP OF CURB ALONG 75TH STREET = 1243'-0"
BLDG. FFE = 1242'-4"
AVE. TOP OF CURB IS 8" ABOVE FFE

K & I HOMES, LLC

6125 E. INDIAN SCHOOL RD
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SCOTTSDALE, AZ 85251
PH: 602-505-2525



Clayton

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JOB NUMBER: 1809

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ISSUE DATE: 5/1/2019

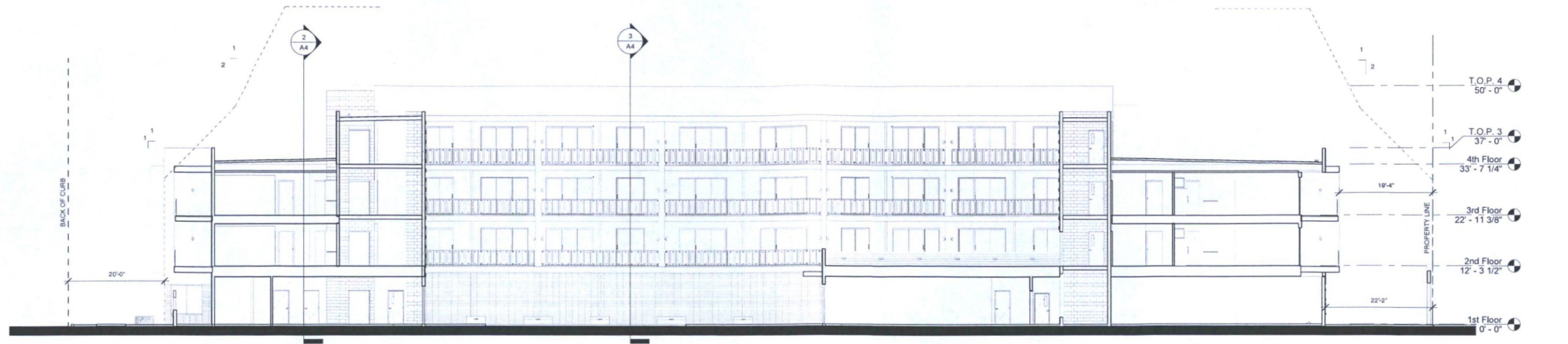


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Elevation Worksheet

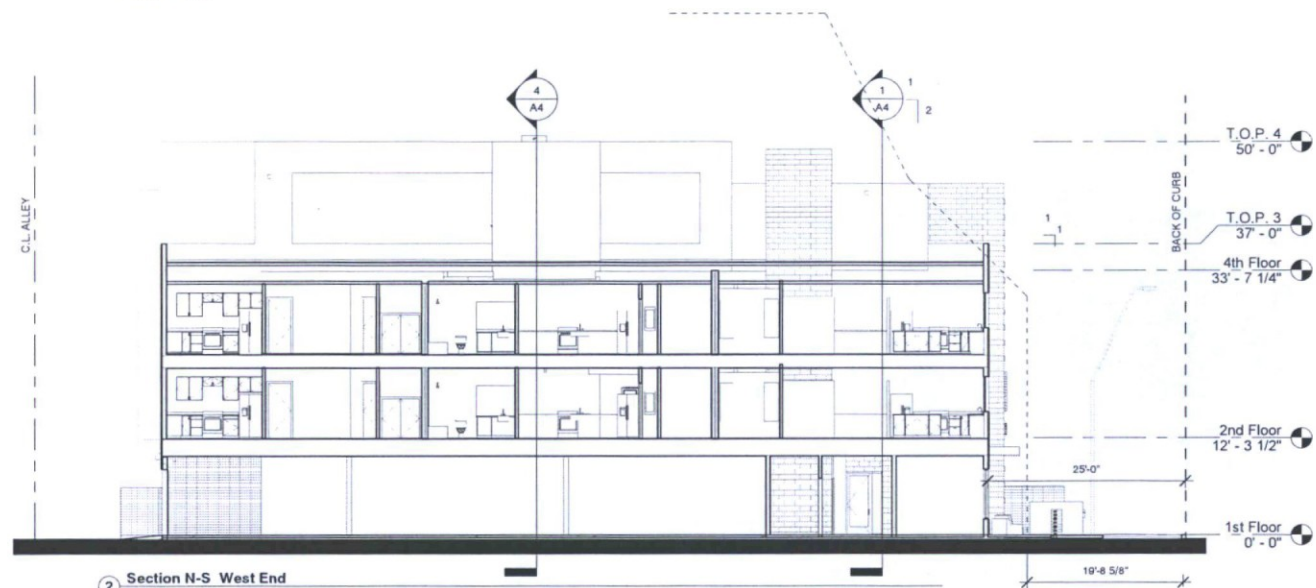
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A3.3

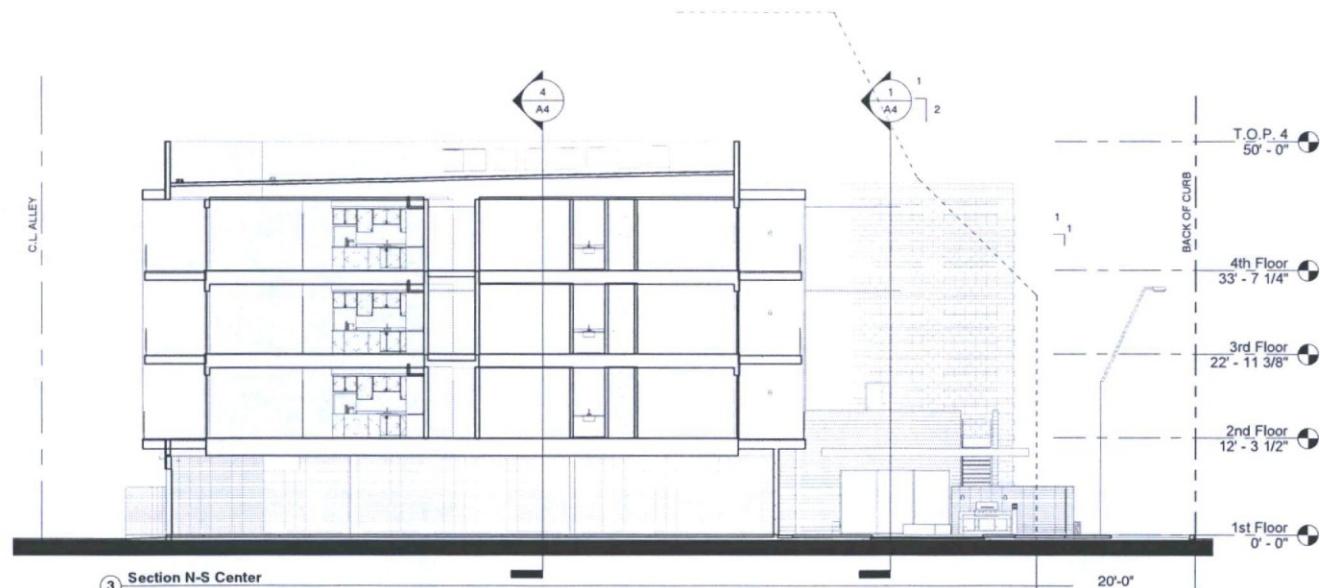
ReZone2 - Design Review1



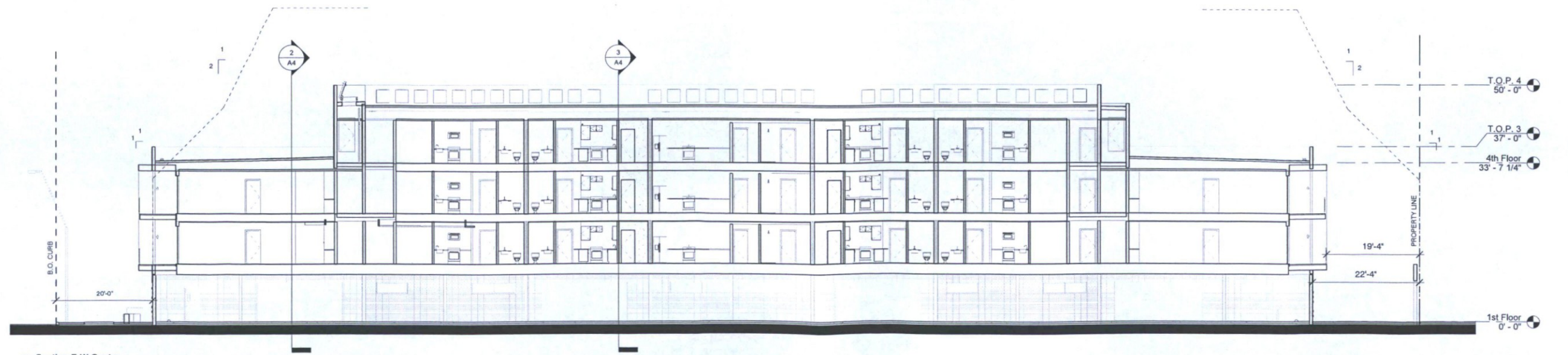
1 Section E-W Front
3/32" = 1'-0"



2 Section N-S West End
3/32" = 1'-0"



3 Section N-S Center
3/32" = 1'-0"



4 Section E-W Center
3/32" = 1'-0"

K & I HOMES, LLC

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SHEET TITLE:
Building Sections - Overall

SHEET NUMBER:
A4

ReZone2 - Design Review1



PERSPECTIVE VIEW FROM SOUTHWEST



PERSPECTIVE VIEW FROM SOUTHEAST

K & I HOMES, LLC

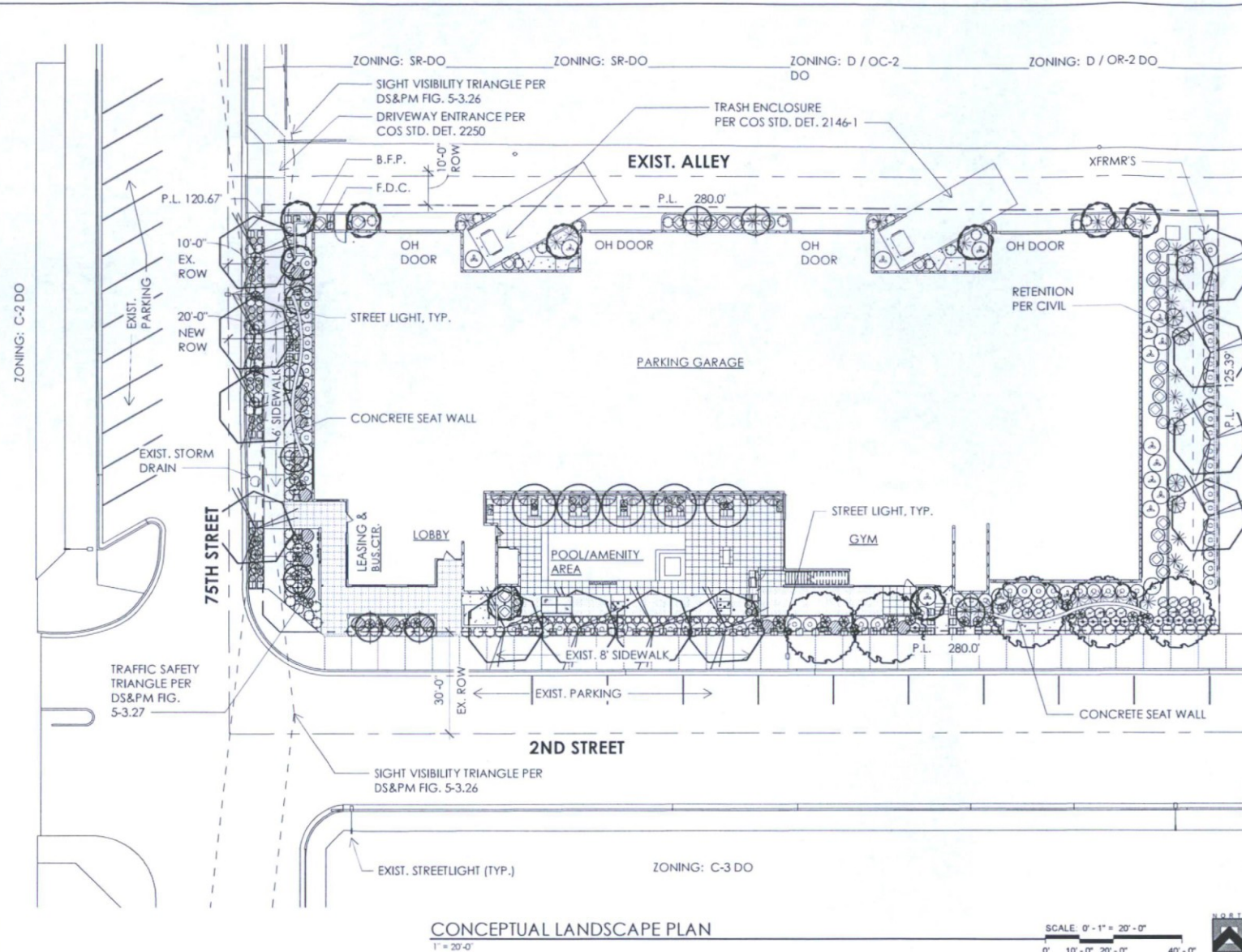
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JOB NUMBER: 1809		
DRAWN BY: KS		
CHECKED BY: KS		
ISSUE DATE: 5/1/2019		
		
SHEET TITLE: Renderings		
SHEET NUMBER: A5		
ReZone2 - Design Review1		



LANDSCAPE NOTES

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2. ALL TREES SHALL BE FIFTEEN (15) GALLON MINIMUM SIZE, AND A LEAST FIFTY (50) PERCENT SHALL BE MATURE TREES WITH A MINIMUM 2" CALIPER.
3. THIS PROJECT CONTAINS NO NEW PARKING / LANDSCAPE AREAS & REQUIREMENTS.
4. ALL PLANT MATERIALS SHALL BE FROM THE ARIZONA DEPARTMENT OF WATER RESOURCE'S (ADWR) PHOENIX ACTIVE MANAGEMENT AREA PLANT LIST & IS EXEMPT FROM THE CITY OF SCOTTSDALE'S ENVIRONMENTALLY SENSITIVE LANDS ORDINANCE (ESLO) PLANT LIST.
5. THIS PROJECT DOES NOT CONTAIN ANY NATURAL AREA OPEN SPACE (NAOS).
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8. ALL SIDEWALKS TO BE A MIN. 6'-0" CLEAR.
9. ALL FIRELANE SURFACES SHALL SUPPORT 83,000 LBS GROSS VEHICULAR WEIGHT PER DS & PM 2-1.802(3)
10. ALL LANDSCAPE AREAS SHALL BE IRRIGATED BY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
11. REFER TO CIVIL FOR ALL GRADING, DRAINAGE, RETENTION AREAS, SETBACKS, EASEMENTS & P.U.E. LOCATIONS

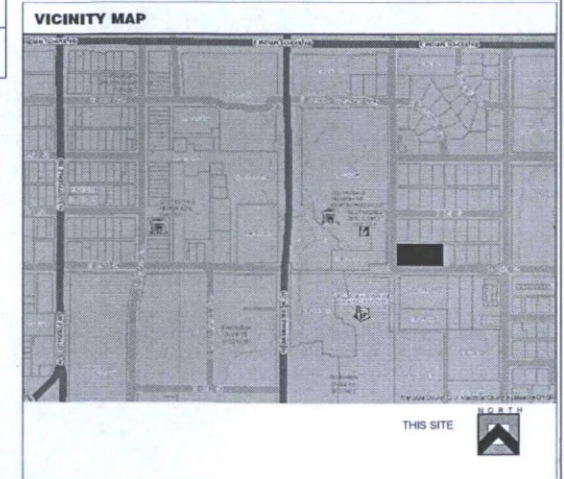
PLANT LEGEND					
BOTANICAL NAME	COMMON NAME	CAL. SIZE	BOX SIZE	QTY	COMMENTS
TREE					
BAUHINIA LUNARIOIDES	ANACACHO ORCHID TREE	1.25"	6	8'x6'	
CAESALPINIA MEXICANA	MEXICAN BIRD OF PARADISE	1.5"	10	15'x15'	
QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	2.5"	13	40'x50'	
SOPHORA SECUNDIFLORA	TEXAS MOUNTAIN LAUREL	2"	10	15'x15'	
ULMUS PARVIFOLIA 'EMERALD II'	EVERGREEN ELM 'EMERALD'	1.5"	6	30'x30'	
PALM					
ALOE HERCULES	TREE ALOE 'HERCULES'		15 Gal.	4	
SHRUBS					
CAESALPINIA PULCHERRIMA	RED BIRD OF PARADISE		5 Gal.	18	
CALLIANDRA HYBRID 'SIERRA STARR'	SIERRA STARR CALLIANDRA		5 Gal.	30	
EREMOPHILA HYGROPHANA	BLUE BELLS		5 Gal.	4	
EUPHORBIA RIGIDA	GOHPER PLANT		5 Gal.	31	
HESPERALOE PARVIFLORA	RED YUCCA		5 Gal.	32	
MUHLENBERGIA x 'PINK	PINK FLAMINGO MUHLY		5 Gal.	27	4'1 x 18'w
TECOMA STANS HYBRID 'SPARKY'	YELLOW BELLS 'SPARKY'		5 Gal.	73	
ACCENT					
AGAVE DESMETIANA	SMOOTH AGAVE		5 Gal.	30	
ALOE 'BLUE ELF	BLUE ELF ALOE		5 Gal.	58	
ALOE BARBARENSIS	MEDICINAL ALOE		5 Gal.	21	
DASYLIRION WHEELERI	DESERT SPOON		5 Gal.	7	
PEDILANTHUS MACROCARPA	LADY'S SLIPPER		5 Gal.	18	
GROUND COVER					
PORTULACARIA AFRA	ELEPHANT'S FOOD		3 Gal.	79	
SPHAGNETCOLA TRILOBATA	YELLOW DOT		1 Gal.	87	
VINES					
PODRANEA RICASOLIANA	PINK TRUMPET VINE		15 Gal.	13	

GROUND PLANE TREATMENT

NON-TURF LANDSCAPE AREAS	3/4" MINUS DECOMPOSED GRANITE, 'MADISON GOLD'	+/- 6,725 S.F.
PER CIVIL PLANS	3"-8" RIP RAP, 'MADISON GOLD' 2' AROUND ALL CATCH BASIN LOCATIONS (NATURAL PLACEMENT)	PER CIVIL PLANS
	SYNTHETIC TURF - ACT GLOBAL "NATURAL 48", INSTALL OVER 4" 1/4" MINUS DECOMPOSED GRANITE	+/- 775 S.F.

LANDSCAPE CALCULATIONS

LANDSCAPE OPEN SPACE	+/- 2,470 s.f.
PARKING LANDSCAPE	NA
FRONTAGE LANDSCAPE	+/- 624 s.f.



K&I HOMES, LLC

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Clayton

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TAKING DESIGN TO A WHOLE NEW LEVEL

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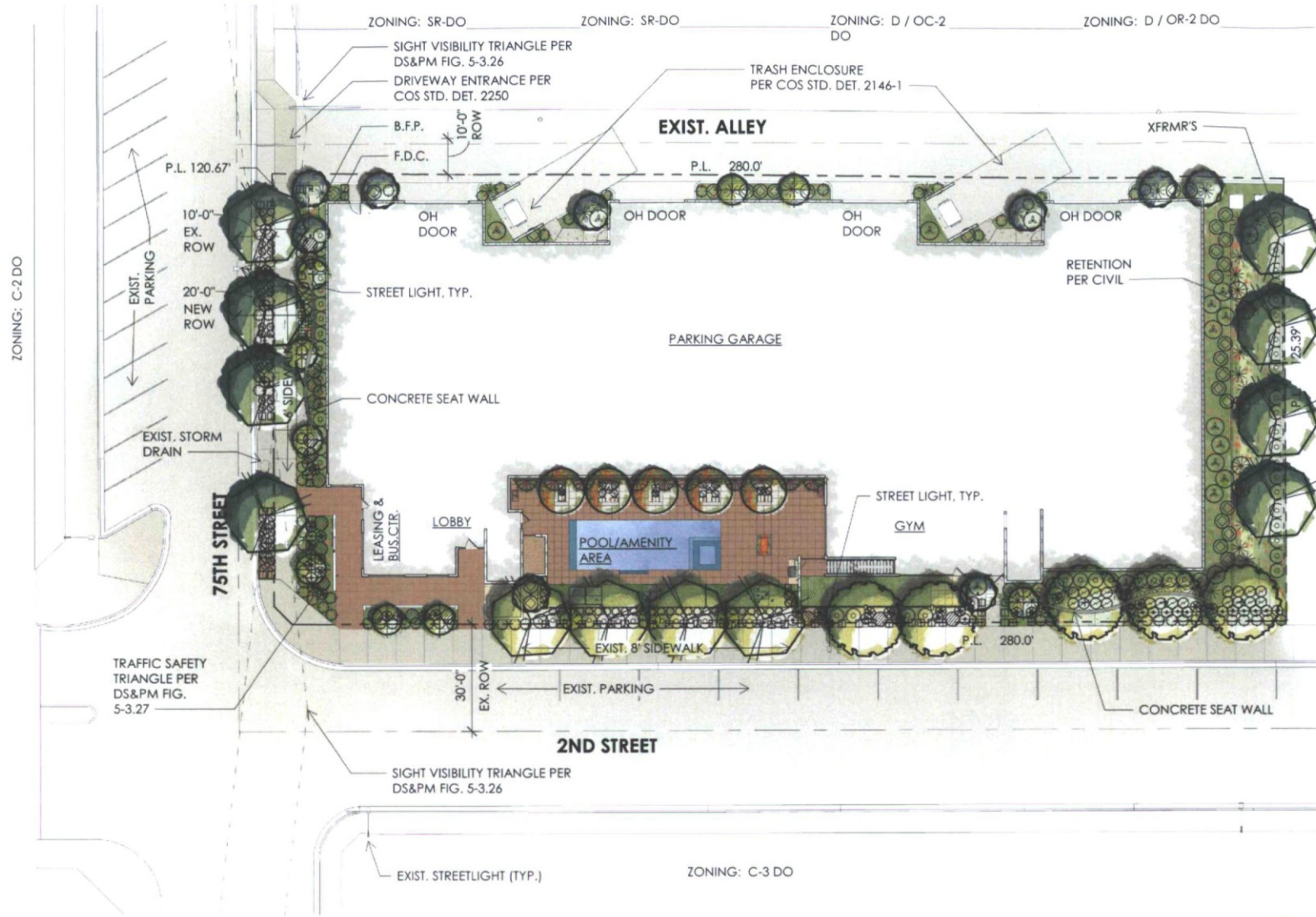


SHEET TITLE:
Landscape Plan

SHEET NUMBER:

L-1

ReZone2 - Design
Review1



CONCEPTUAL LANDSCAPE PLAN

SCALE: 0' - 1" = 20' - 0"
0' 10' - 0" 20' - 0" 40' - 0"

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VICINITY MAP



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